



# Shire Hall, Warwick – A Conservation Statement

by Warwickshire Museum Field Archaeology Projects Group

on behalf of Warwickshire County Council Resources Directorate Property

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Warwick  
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*Frontispiece: Main Shire Hall complex and Northgate Street from the tower of St Mary's Church.  
Library and office block north-west of Barrack Street and Northgate House (WCC staff club) in middle background.*

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## Summary

This Conservation Statement has been produced as part of a review of County Council properties in Warwick, to ensure that the future development and management of the Shire Hall complex takes into account the historic and ecological significance of the site. It covers the main Shire Hall complex, including the Crown and County Courts, Council Chamber and offices (Area A), the modern offices and car park on the north-west side of Barrack Street (Area B), the former Education Department premises on the east side of Northgate Street, the court offices on Northgate and the Museum Store on The Butts (Area C), and Northgate House, currently the Warwickshire County Council Staff Club (Area D).

### *Historical development*

There is evidence of prehistoric and Romano-British activity in the vicinity, though not from the site itself. The defended town of Warwick was formally established by Ethelfleda of Mercia in 914 AD. The first permanent building to house the county gaol and hall of pleas (courts) was built in the 13th century in Gerrard Street. This was replaced as a venue for county business in the 16th century by a house in Northgate Street, already called the Shire Hall by 1576. The site of Shire Hall and the gaol was acquired by the county in 1676. The Great Fire of 1694 destroyed much of the central area, including the gaol and house of correction to the north of Shire Hall on Northgate Street/Barrack Street. Shire Hall survived, but was rebuilt in 1753-58 and it is this building which survives, with alterations, today. The gaol was rebuilt after the Fire, and again rebuilt in the late 18th century with an extension at the end of the same century. In the 1860s it was rebuilt as a militia barracks.

The growth in administrative responsibilities of the County Council in the late 19th and early 20th centuries, following its creation in 1888, required additional premises. Northgate House and the houses on the east side of Northgate Street (all built after the 1694 Fire) were acquired between 1882 and 1936. The barracks were replaced by the present offices in 1932, incorporating the 18th-century gaol façades. After delays due to financial constraints and World War II, the accommodation was completed with the Council Chamber and offices opened in 1958, and further extensions, including the Council Members' Rooms and the present main entrance range facing Market Place, in 1966. The block to the north-west of Barrack Street was redeveloped in the early 1970s as offices and a car park.

### *Building descriptions*

In Area A, the Grade I Listed Shire Hall and Courts are 18th-century in neo-classical style. Many original or early features remain, although the stone front was re-faced in 1948. The Grade I Listed former gaol façade along Northgate Street and Barrack Street is also 18th-century neo-classical, with 1930s windows and alterations contemporary with the 1932 offices behind the façade (which are included in the Listing); a few elements of the original building survive in the Northgate Street wing. The 1958 Council Chamber is substantially unaltered, and was technically advanced for its time. The 1966 extensions include abstract decorative panels facing the inner quadrangle. The 1958 and 1966 buildings are held by Warwick District Council to be also Grade I Listed by virtue of being extensions of the former gaol and County Council offices. Abbotsford House in Market Place, a substantial early 18th-century stone house, is Listed Grade II\*, though re-faced and altered inside. The stone Judges House of 1814 (and its 20th-century extensions to the south) and No 1 Northgate Street (a brick house, c.1700) are Listed Grade II. The brick-built former Coffee Tavern and Temperance Hotel (No 16 Old Square) is in ornate late Victorian style with decorative features, and although not listed is of some significance. There is a substantial collection of

historic items, including furniture, ceremonial objects and artwork, in the ownership of the Council and the Justices Wine and Plate Fund, housed mainly in the Members' areas, the Courts and the Judges House.

The unlisted 1970s offices in Area B is in a 'brutalist' style with concrete and glass cladding. In Area C, the houses on the east side of Northgate Street are all late 17th-/early 18th-century, rebuilt after the 1694 Fire with later alterations (mainly late 18th-/19th-century) to the fronts, and are Listed Grade II, except for the II\* Listed No 18-20. They are now interconnected and to varying degrees have been altered internally, but all retain some early features. Nos 18-20 are least altered, retaining an original staircase and timber panelling in many rooms. There is a 1930s brick wing to the rear (included in the Listing), incorporating part of a 19th-century Militia Store. The Court Offices, built in 1883, are stone faced in Italianate style, unlisted and modernised internally. The Warwickshire Museum store in The Butts includes two 18th-century stone 'pavilions', Listed Grade II, with 20th-century brick infill and additions. Northgate House, Area D, is Listed Grade II\*, and is one of a pair of impressive semi-detached houses dating from 1698, a very early example of the type. Most of the rooms have been modernised, although one is substantially intact with full panelling.

### *Significance*

The report assesses the significance of the potential buried archaeological remains, the standing buildings, the conservation area streetscape, the historic collections and the ecology by Area. Except where deep cellars or ground reduction have removed all evidence, the archaeological potential will need to be confirmed by evaluation (trial trenching), and in all cases the potential is enhanced by the extensive late medieval documentary evidence. Grade I Listed Buildings are of exceptional importance, Grade II\* of particular importance, greater than special interest, and Grade II of special interest.

Area A may contain archaeological remains of possible Anglo-Saxon and medieval settlement, and evidence of an Anglo-Saxon defensive line inside the medieval circuit, although the potential is reduced due to damage from extensive later development and any survival is likely to be in isolated pockets. Both the Grade I Listed Shire Hall and the gaol façade are of exceptional importance, and there is a rare late 17th-century dungeon. Although unlisted, the former Coffee Tavern and Temperance Hotel is interesting architecturally and reflects an important Victorian social movement. The Northgate Street frontage, with Shire Hall and the gaol façade (together with the former houses on the east side, Area C), forms one of the most important streetscapes in the Warwick Conservation Area, and is relatively little changed from its late 18th-century appearance. The frontage of the 1966 offices to Market Place occupies an important streetscape location, but does not have the same aesthetic quality. The most important items in the historic collections are those directly related to the buildings or the County Council. There is limited ecological potential for bats and nesting birds.

Ground reduction of Area B in the 1970s redevelopment will have removed almost all archaeological remains. There are limited areas where medieval occupation remains may survive along Saltisford. The building is of no architectural importance. It is excluded from the Warwick Conservation Area, but is adjacent to it and in streetscape terms is detrimental. There is limited ecological potential for nesting birds in the shrubbery.

The archaeological potential of Area C is generally similar to that of Area A, with the vicinity of No 2 Northgate Street and the garden of No 22 having greatest potential being least affected by later developments. The buildings on Northgate Street are a good group of late 17th-/early 18th-century domestic architecture, and

some contain well-preserved interior elements. The court offices are unlisted, but are a well-proportioned example of late Victorian municipal architecture. The importance of Northgate Street to the Conservation Area is discussed above (Area A). There is limited ecological potential for bats and nesting birds.

Area D, Northgate House, has a large garden, much of which has remained undeveloped since the Fires of 1664 and 1698. The street frontage is likely to contain well-preserved remains of medieval and early post-medieval suburban houses. To the west of the present building the garden should preserve the full length of one or more medieval tenements. Such remains, coupled with good documentary evidence, are potentially of national importance. The house is Listed Grade II\*, and within the Warwick Conservation Area is a major component of the Northgate Street streetscape, forming a focal point at its northern end. It has ecological potential for bats and nesting birds, and also reptiles such as slow-worms in the shrubbery along the bank along the north boundary of the garden.

### *Management and conservation issues*

Constraints to the development of the buildings exist in relation to buried archaeological remains, Listed Buildings, the Conservation Area and ecology. Public accessibility to the council, its services and facilities should be continually reviewed and improved where possible.

Factors affecting the demand for, and use of, council space include: decentralisation; staff numbers; the need for improved utilisation of space; security; the effect of modern technology, working methods, and health, safety and welfare issues; and the Disability Discrimination Act 1994.

It has recently been decided that the Courts Service will vacate the Shire Hall and move to a purpose-built Justice Centre in Leamington Spa, although it is understood that the Judges House will continue in use as at present. Alternative uses will therefore have to be found for the Shire Hall and the present courts which are compatible with the conservation constraints.

### *Conservation principles*

The Statement summarises legislation covering the historic and natural environment, and relevant central government guidance in the form of Planning Policy Guidance Notes. Local policies are contained in the Warwickshire Structure Plan and the Warwick District Local Plan.

The general approach to conservation of the historic environment is described by the acronym CoBRA (Conservation-Based Research and Analysis). Successful management of the historic environment requires appropriate preliminary research, analysis, survey and investigation in order to understand the significance of a building and its landscape, and thus inform decisions about repair, alteration, use and management.

### *Conservation Policies*

As a general rule, there should be a presumption that the most significant features will be preserved. Those of lesser importance should be retained as far as possible, and in all cases the possibility of enhancement should be considered. Where development is permitted, appropriate programmes of archaeological recording should be carried out.

A series of policies are proposed. These are divided into three groups: policies designed to *preserve* the significant elements of the site; policies designed to

***improve* aspects of the site and its usage; and policies designed to assist in the *management of change*, ensuring that future developments and maintenance are managed and carried out in an appropriate way.**

## 1. Introduction

1.1 In the middle ages the governance of Warwickshire was a judicial function undertaken by the Justices of the Peace in Quarter Sessions. Although the county has existed since the early 10th century it was not until the 13th century that a permanent building was built to house the county gaol and hall of pleas (courts) in Gerrard Street. The gaol hall was replaced some time before 1576 by a house in Northgate Street occupied by the Steward of the Earl of Warwick's Manor of Warwick, formerly known as the Steward's Place. From the terms of a grant of 1576 it appears that the building was already called the Shire Hall, and it may have been used for county business for some years, perhaps from the 1540s or 1550s.

1.2 The Shire Hall on Northgate Street was rebuilt on several occasions, but it was only in the late 19th and early 20th century, following the creation of the Warwickshire County Council by the Local Government Act of 1888, and the increase in its functions under the Local Government Act of 1929, that the growth in administrative responsibilities required the housing of an extensive bureaucracy. Since then additional premises have been acquired on a piecemeal basis. Shire Hall still represents the core although the County Council occupies other sites across Warwick ranging from converted historic houses to modern purpose-built offices.

1.3 In response to current moves for modernisation of both local government and the courts service, the need to improve accessibility and social inclusion, changing practices and requirements in the working environment, and the decision of the Courts Services to end over 400 years of judicial use of the site and move to a new Justice Centre in Leamington, the County Council have initiated a review of property holdings in Warwick. Following consultation English Heritage recommended that a Conservation Statement be produced as a contribution to ensuring that the future development and management of the site recognises, safeguards and enhances its historic, architectural, visual, and ecological significance.

1.4 Initially this covered only the main Shire Hall complex (Fig. 1, Area A), but was subsequently extended to cover Areas B-D. Areas A, C and D are within the Warwick Conservation Area and contain a number of Listed Buildings. Areas A and C are within the line of the medieval defences in north west corner of Warwick, and Areas B and D are within the northern medieval suburb. Apart from the Listed Buildings there are no Scheduled Ancient Monuments, Sites of Special Scientific Interest or other statutorily designated sites within the study area. There are a number of other Listed Buildings in the immediate vicinity, and one Scheduled Ancient Monument, the site of St Mary's College, adjoining Area C.

### *Area A: Main Shire Hall complex*

1.5 This consists of the main Shire Hall complex of buildings dating from the 17th century to the 20th century, which today serves two main functions: to provide meeting rooms and offices for Warwickshire County Council and to house Warwick Crown and County Courts. It now occupies almost the whole of a triangular block bounded by Market Place, Barrack Street and Northgate Street. Historically the Shire Hall lay on Northgate Street, but the current main entrance is from Market Square. The Shire Hall expresses the identity of the County, acts as a focus for democratic representation in local government and is a symbol of the judicial process, as well as providing a public contact point for many of the services provided by the County Council.

1.6 The mid 18th-century Shire Hall and Courts, and the former Gaol and County Militia Barracks sites converted to offices in 1932 are Grade 1 Listed Buildings; the extensions of 1958 and 1966 are also held to be covered by the Listing. This is a legal construct unrelated to the architectural merit of the extensions, which were not built

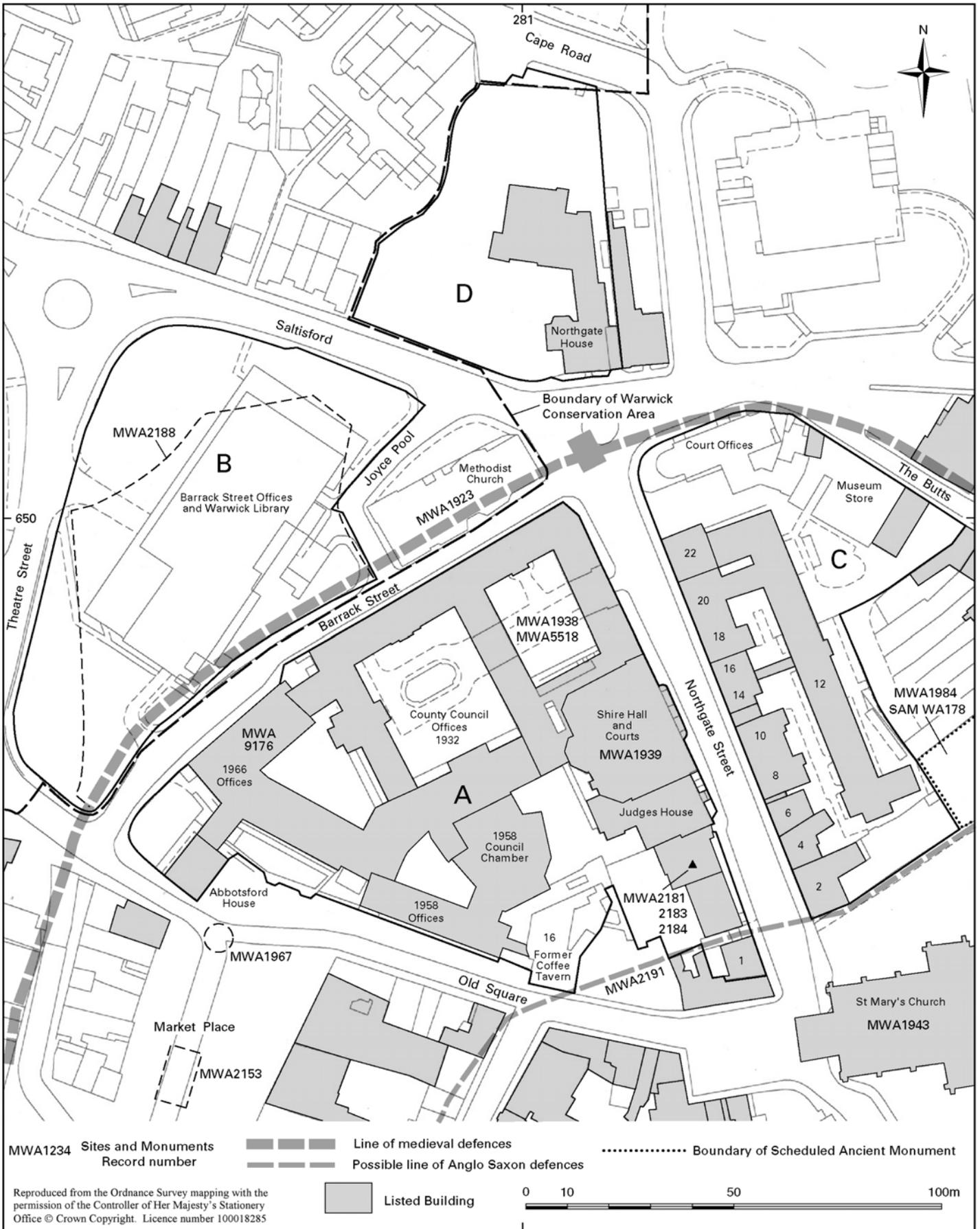


Fig 1: Site Location

when the buildings were listed. Abbotsford House is an early 18th-century mercer's shop and house, Listed Grade II\*; the Council has recently disposed of the building for residential conversion, although it retains the use of the basement in connection with the Shire Hall pond water purification system. No 1 Northgate Street is a Grade II Listed late 17th-/early 18th-century house. 16 Old Square, the former Dale Temperance Hotel and Coffee Tavern of 1883, although unlisted is nonetheless of historic and architectural interest. The adjacent former Post Office, another unlisted Victorian building (of 1890), and the Grade II Listed No 2 Old Square, are outside the Council ownership.

*Area B: North-west of Barrack Street*

1.7 This area is bounded by Barrack Street, Joyce Pool, Theatre Street and Saltisford, and contains the Barrack Street offices, Warwick Library, and an underground car park built in the 1970s. The area surrounding the building was landscaped at the same time. The Methodist Church dating from 1893 at the eastern end of Barrack Street and Joyce Pool is not within County Council ownership. The traffic roundabout at the junction of Theatre Street and Saltisford is immediately to the north-west. Neither the offices and car park nor the Church are Listed.

*Area C: East of Northgate Street, Northgate and The Butts*

1.8 This includes all the properties on the east side of Northgate Street (north of St Mary's Church), plus the Court Offices on Northgate and the Warwickshire Museum Store at the north end of The Butts (west side). The late 17th-/early 18th-century houses on the east side of Northgate Street were acquired progressively by the council from the late 19th century for use as offices. Most recently they have been occupied by the Education Department along with a mainly mid 20th-century office building to the rear, although the department moved to new premises in Saltisford in late 2006. The buildings are currently occupied by a number of other council departments on a temporary basis. The Court Offices on Northgate were originally built in 1883 as the County Police Headquarters. The Museum Store building at the north end of The Butts contains elements from the 18th to 20th centuries, and is used as offices and storage.

1.9 All the buildings on the east side of Northgate Street are Listed Grade II except that numbered 18 and 20, which is Grade II\*. The Listing includes the 20th-century offices to the rear. The 18th-century end pavilions of the Museum premises are Listed Grade II, the remainder is unlisted. The court offices are unlisted.

1.10 The south-east corner of the area adjoins, but is not within, a Scheduled Monument, the Site of St Mary's College (Scheduled Ancient Monument No Warwickshire 178). This was the college of secular canons that served St Mary's church from 1123 to 1544, the buildings of which are thought to have been destroyed by fire in 1694. It consists of the old deanery and its garden, the new rectory and its gardens, and the garden area at the southern end of the site which is open to the public. It is surrounded by a wall which includes medieval masonry, but there are no visible remains other than the wall.

*Area D: Northgate House*

1.11 This consists of half of an imposing late 17th-century house with a modern rear extension and a large garden, which provides Staff Club and canteen facilities for County Council staff. It is Listed Grade II\*.

### ***Revisions of the Statement***

1.12 This is Version 1.0 of this Conservation Statement. It is assumed that it will need revision in the light of comments from interested parties and revised and/or amended versions will be produced as necessary.

1.13 The Statement has been compiled by Warwickshire Museum Field Archaeology Projects Group at the request of Warwickshire County Council Resources Directorate Property. Documentary research was by Mark Booth of Warwickshire County Record Office, using a summary kindly provided by Steven Wallsgrove of his extensive research on medieval and early post-medieval Warwick. Information on the 19th- and 20th-century inhabitants was collated by Danielle Wootton. An ecological survey was carried out by the Warwickshire Museum Field Services Ecology Unit. All the buildings were inspected internally and externally except for the modern Barrack Street block which was only inspected externally. This report was written by Ian Greig and Mark Booth with contributions by Nicholas Palmer and Anna Swift, and edited by Nicholas Palmer.

## 2. History of the Site

### 2.1 General archaeological and historical background

#### Prehistoric and Romano-British

2.1.1 No prehistoric or Romano-British material is known from the immediate vicinity of the Shire Hall/Northgate Street area, although the earliest settlement within the area of Warwick dates to the neolithic period (c.4,000-2,200 BC). Neolithic pits and pottery have been found c.150m to the south on sites between Brook Street and Market Street (Warwickshire Sites and Monuments Record MWA 1989, 6065, not on plan), and later prehistoric material has been found in small quantities, including a Bronze Age flint from Cocksparrow Street to the south-west (SMR MWA 2201, not on plan). A Romano-British cemetery has been recorded at the west end of Priory Road (SMR MWA 1996, not on plan) and this is likely to have served a contemporary settlement in the vicinity.

#### Anglo-Saxon Warwick

2.1.2 Continuous settlement of the area possibly began in the 6th century AD around a natural weir that provided a crossing point of the River Avon (VCH 1969, 418), and it may have generated a market for trading under royal protection or sponsorship (Slater 1982). The town of Warwick was established in 914 by Ethelfleda of Mercia as one of a number of fortified settlements or burhs designed to defend Mercia against the Danes. It is likely that the Shire/County was established at the same time, as the land charged with supporting the burh. St Mary's Church, at the southern end of Northgate Street, is mentioned in the Domesday Book of 1086 and there was probably a church on the site before the Norman Conquest in 1066 (SMR MWA 1943).

2.1.3 The extent of the original Anglo-Saxon burh is uncertain and a number of theories have been advanced. The most widely held view is that of the Victoria County History which holds that the Anglo-Saxon defended area covered the same area as it did in 1069 and subsequently (SMR MWA 1923; VCH 1969, 418). This would place much of the study area within the limits of the settlement, with the exception of the majority of Area B (Barrack Street), the southern frontage of which runs just inside the defensive circuit and Area D (Northgate House) which is immediately to the north of the line of the medieval defences. Against this there is the theory of Klingelhofer (1975) who detects an earlier inner defensive line represented by possible relict intramural and extramural streets, Brook Street, New Street, the former Pebble Lane and The Butts, though it had been extended by 1069, probably earlier (SMR MWA 2191). This would place almost all of the study area outside the original Anglo-Saxon defences, although the theory is not widely supported.

2.1.4 An attempted synthesis has been offered by Wallsgrove (2001) who suggests that the original defences may have been built around the larger later area but that only the smaller inner area was settled initially. He suggests that the original marketplace lay in Jury Street and the town first developed along Jury Street and High Street. Expansion first took place into Northgate Street and then, by the early 11th century, Market Place. The area to the south-east of High Street/Jury Street developed around an irregular layout of lanes, although it cannot have been intensively occupied by the time the castle was built in 1068 as documentary records indicate that it was necessary to demolish only four houses for its construction.

*Archaeological evidence*

2.1.5 As yet there is only scant archaeological evidence for Anglo-Saxon occupation earlier than the late 11th century in or immediately around the study area. An early 11th-century beam-slot building was recorded in an excavation behind the former Woolpack Hotel in Market Place, just to the south of the study area (SMR MWA 8813, not on plan), along with late 11th- to 12th-century Saxo-Norman and later features. A coin of Cnut (AD 1016-1035) was found in excavations on Market Street (SMR MWA 5660, not on plan), although other finds from the site, for example pottery dating to the 11th and 12th centuries, were later. On current evidence it seems clear that, if the original Anglo-Saxon defences were on a similar alignment to the later medieval circuit, the area they enclosed was not intensively occupied away from the core of High Street/Jury Street. Despite this, it is usually accepted that the settlement was too well established for the later defensive line to represent an extension, which argues against Klingelhofer's theory of an earlier, smaller defended area.

**Medieval Warwick***Defences*

2.1.6 The medieval defences consisted of a wall and ditch with three gates, of which only the east and west gates survive. The historian Rous notes that, on the orders of William the Conqueror, Turchil of Arden constructed a ditch with gates around Warwick, but did not build a wall. There was originally a timber-laced rampart and date of the addition of the stone wall is unknown, though grants of murage recorded in 1305 and 1315 are likely to have been for maintenance of the existing wall (VCH 1969, 420). Its alignment is indicated by present-day streets: Bowling Green Street, Theatre Street, Joyce Pool (prior to its realignment in the 1970s), Chapel Street, Gerrard Street and Mill Street follow the outer line of the ditch, whilst Market Street, Barrack Street and The Butts mark the inside of the wall.

2.1.7 The defences have been archaeologically recorded at a number of locations. The only excavations within the study area, prior to the construction of the Barrack Street office and car park complex in 1972, revealed remains of the defensive circuit as well as medieval occupation (SMR MWA 2188). Its line was indicated by a ditch and timber palisade, typical of Norman town defences and dated from pottery in the lowest fill of the ditch to the late 11th or early 12th centuries. The line of the later wall inside the ditch was shown by a robber trench, left by the removal of masonry for re-use elsewhere, although it was also suggested that the feature could represent an unfinished foundation indicating that the wall was not built to a full height at this point.

*Development of medieval Market Place and town*

2.1.8 Within the defensive circuit the town continued to develop around the axis of the two main streets, High Street/Jury Street and Castle Street/Church Street/Northgate Street, where most of the properties (mainly long narrow tenements at right angles to the street, typical of medieval town planning) were situated. Suburbs developed outside the three gates. The northern suburb was centred on Saltisford, with further development in Hogford, now Theatre Street (VCH 1969, 422). The main market was in Market Place, which also had burgage plots from an early date, with subsidiary markets held in the surrounding streets (VCH 1969, 421). Market Place was the site of a medieval market cross (SMR MWA 1967) and the medieval market hall (Booth Hall), demolished in 1791 (SMR MWA 2153). The medieval county gaol was situated in Gerrard Street (formerly Gaolhall Lane), outside the defences to the south-east of Eastgate, and attached to it was a hall where county courts were held (VCH 1969, 449).

2.1.9 St Mary's Church was re-founded as a collegiate church in 1123, and the site of the attached St Mary's College (SMR MWA 1984; SAM WA 178) is immediately to the east of the church. Little is known about the college before its reconstruction between 1455 and 1464, though it is known that in 1336 there was a hall and residential accommodation.

#### *Archaeological evidence*

2.1.10 Whilst most of the properties can be traced back to the 15th century in documentary records (below, and Appendix B), little archaeological work has taken place within the study area and archaeological evidence for medieval occupation is limited to a few chance finds. The exception is the Barrack Street excavations across the defences in 1972, which also revealed medieval wells, cess pits and rubbish pits indicating extra-mural occupation from the 13th century (SMR MWA 2188; Klingelhofer 1978), and 12th-14th century pottery was collected by W J Ford during the destruction of a well on the south side of Barrack Street in 1962 (Klingelhofer 1976/7b). Medieval pottery was found in excavations for Shire Hall extensions in 1956 (WM A2531-2, 2539-47, SMR MWA 2184). Pottery was found during work in the Crown Court in 1931 (WM A2528-30). Excavations on the site of St Mary's College adjacent to Area C in 1975 identified the substantial stone foundations of the quadrangle and other early features (SMR MWA 1984).

#### **Post-medieval development**

2.1.11 The pattern of development in the medieval period continued into the post-medieval period, with the town defences probably being abandoned and disappearing in the early 16th century (VCH 1969, 420). Development along the streets marking the outer line of the former wall can be seen on Speed's map of 1610 (Fig 2) and Hollar's of 1645, but apart from the surviving east and west gates the walls do not appear. The maps show all the street frontages within the study area fully developed, except for the western and north-eastern sides of the triangular Barrack Street site (Area B) which still appear largely empty. The increasing importance of Warwick as the shire town from the 17th century resulted in an increasing number of large inns and also town houses for more permanent residence. Existing houses were updated and, particularly in the third quarter of the century, many new houses of timber-framed construction were built (VCH 1969, 428-429).

2.1.12 The north-west part of the town began to assume an administrative function in the mid-16th century when, some time after 1542, the medieval Gerrard Street gaol hall was abandoned. It was replaced before 1576 by a house in Northgate Street belonging to the earldom of Warwick, formerly known as the Steward's Place, which started to be used for county affairs, including the Assize and Sheriff's courts. This building, known as the Shire Hall, has been rebuilt several times since then but remains in use as the seat of the Crown and County Courts (SMR MWA 1939). In the late 17th century property to the north of this site was acquired by the county for the site of the county gaol and house of correction, and was developed for this use over the next two centuries (VCH 1969, 449-450; SMR MWA 1938, 5518).

2.1.13 Comprehensive redevelopments were rarely possible until the advent of compulsory purchase powers in the 20th century, so once established boundaries tended to remain in the townscape until recent times. In Warwick, however, there is the complicating factor of the Great Fire of 1694, which affected virtually all of the study area although the Shire Hall itself was saved from the flames. Some re-planning and consolidation of landholdings took place in the reconstruction after the fire, including the widening of streets by taking part of the frontage of some tenements (for which compensation was paid to the owners). The rebuilding was governed by an Act of Parliament, and stringent regulations were laid down to control the standards of construction and design. The use of flammable timber

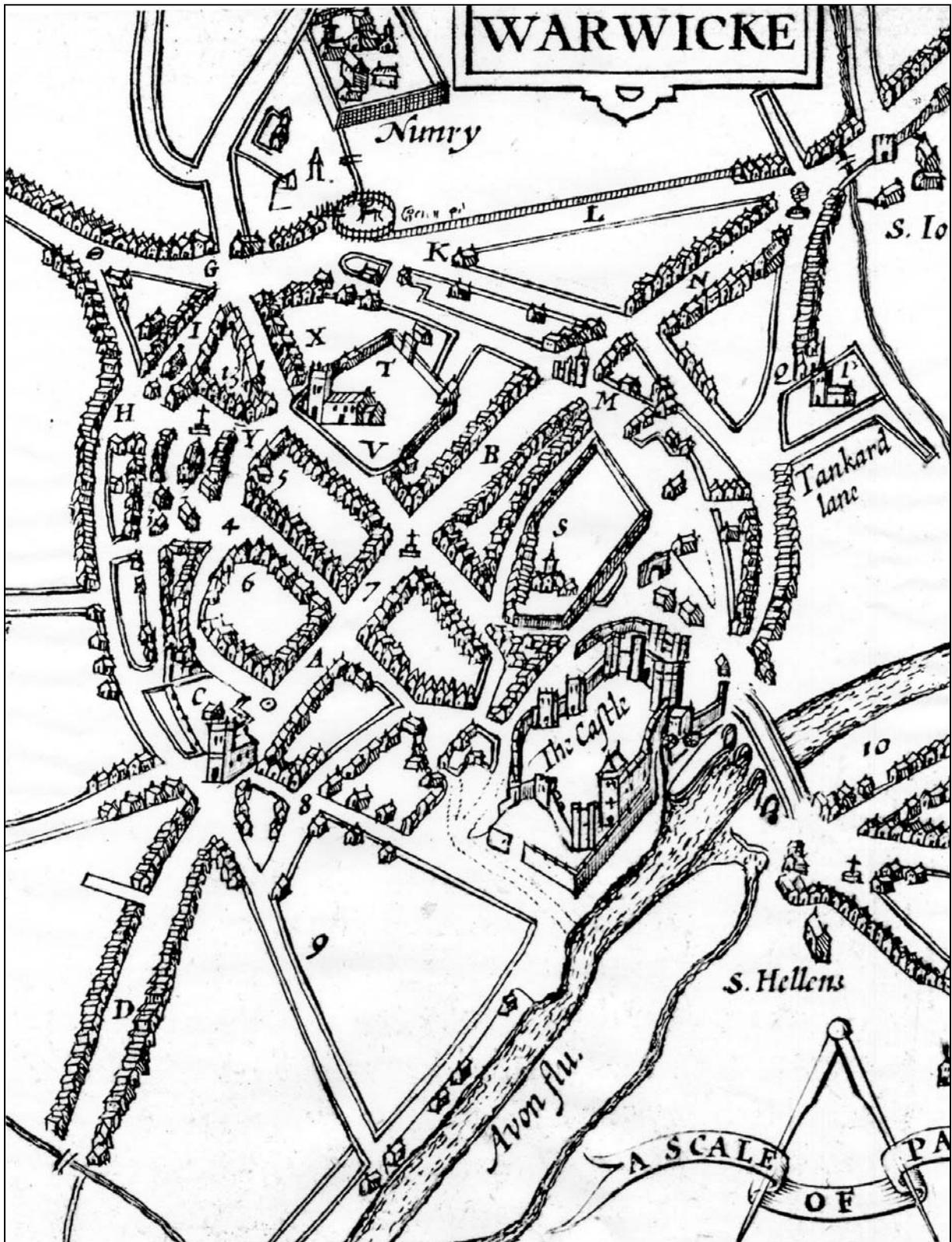


Fig 2: Speed's map of 1610

framing and thatch roofs was prohibited, and houses were generally to be of two-storey construction (with some permitted to have three storeys), and have brick or stone walls with slate or tile roofs. The short timescale of the rebuilding and strictly regulated design resulted in an architecturally coherent appearance to the rebuilt parts of the town which still defines their character today (VCH 1969, 429-431; Farr 1992, xxii-xxi).

2.1.14 From around 2,000 in the early 16th century, the population of the town had risen to over 3,000 by the late 17th century, around 4,500 in 1730 and 5,592 in 1801. This led to increased development on previously open spaces within the town, and also to sub-division of existing buildings (VCH 1969, 432). Within the study area this is reflected by Fish and Bridgeman's map of 1711, which shows the western and north-eastern frontages of Area A, previously largely open space, to have been developed by that time (Fig 3). The map also shows the Shire Hall (annotated 'D'), and the area continued to develop as the administrative centre of the county, with residential and commercial premises around the official buildings.

2.1.15 The Board of Health map of 1851 (Fig 4) shows the County Gaol, County Hall and Judges Lodgings occupying much of Area A, with the Bridewell prison covering much of Area B to the north-west of Barrack Street (then called Bridewell Lane). The Warwickshire Militia had premises on the east side of Northgate Street (now Nos 10-14), including a purpose-built store to the rear, built in the 1840s. St Mary's College is shown to the east of St Mary's Church. Warwick School used the buildings between 1699 and 1879, though by the early 19th century only two sides of the 15th-century quadrangle remained, much altered. In 1879 the building was sold and demolished.

2.1.16 By the mid 19th century the gaol had outgrown the limits of its site, and a new gaol was built on Cape Road in the 1860s. The old gaol was rebuilt as a militia barracks (and continued to be used for military purposes until 1930). From 1929 onwards the site was rebuilt as offices for the County Council (VCH 1969, 449, 451). The council continued to acquire and develop property in the area around Shire Hall as the need for additional accommodation arose, and it remains the centre of the County administrative and judicial functions today.

2.1.17 The detailed development of Areas A-D is described in Section 3 below.

#### *Archaeological evidence*

2.1.18 A limited amount of early post-medieval archaeological material has been found in the study area, mainly as chance finds. A 17th century bird whistle was found in Northgate Street in 1937 (WM A2524, SMR MWA 2181), and a 16th century medicine bottle was also recovered from Northgate Street (WM A2580?, SMR MWA 2183). A pottery jug was found in Barrack Street, though the precise location is not known (WM A2524, SMR WA 2182, not on plan). Post medieval pottery, glass and a bone domino were recovered from excavations for Shire Hall extensions in 1956 (WM A2531-2, 2539-47, SMR MWA 2184). The widening of the streets after the fire is indicated by the presence of skeletons below the pavement of Northgate Street just north of St Mary's Church tower, which appears to confirm that the churchyard was originally larger (Palmer 1998, 101).

2.1.19 During World War II a Civil Defence Headquarters was established at The Butts, in the basement of the present Warwickshire Museum store building. This function continued throughout the Cold War, moving to a basement in the new Shire Hall extension offices opened in 1966 which now houses the County Council Emergency Planning Section (SMR MWA 9176; Subterranea Britannica 2001).

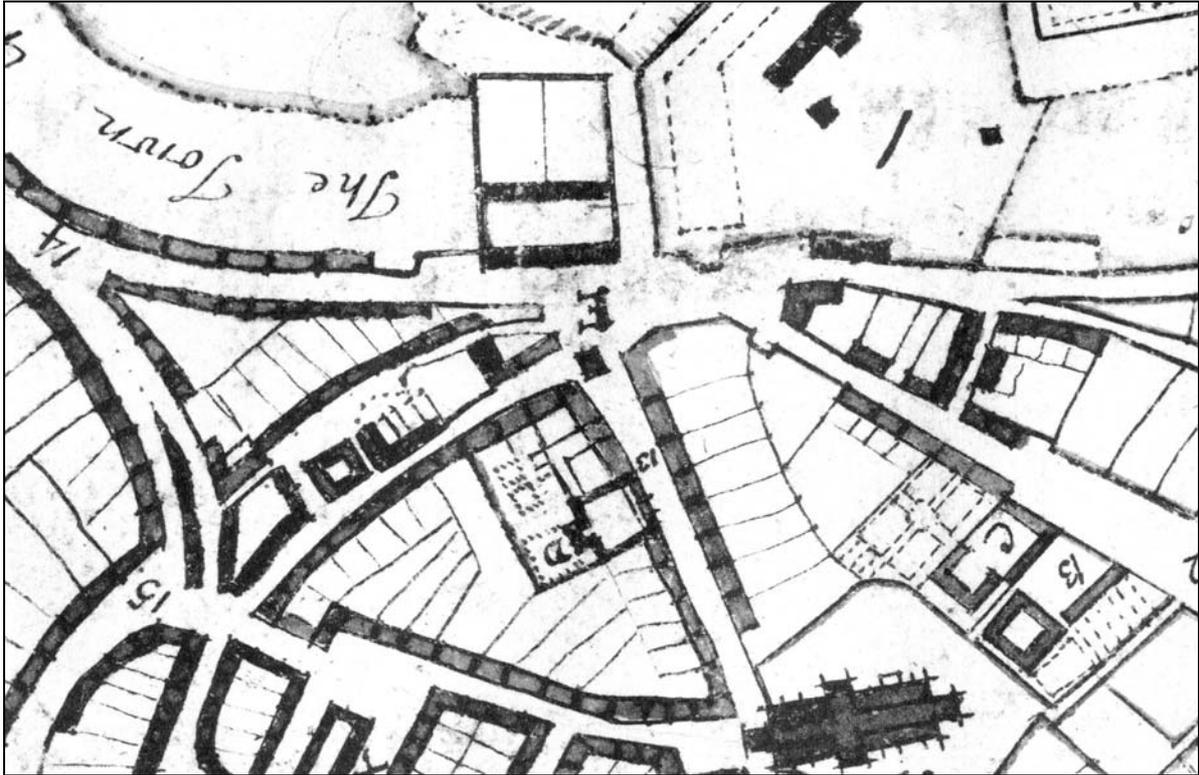


Fig 3: Detail from Fish and Bridgeman's map of 1711

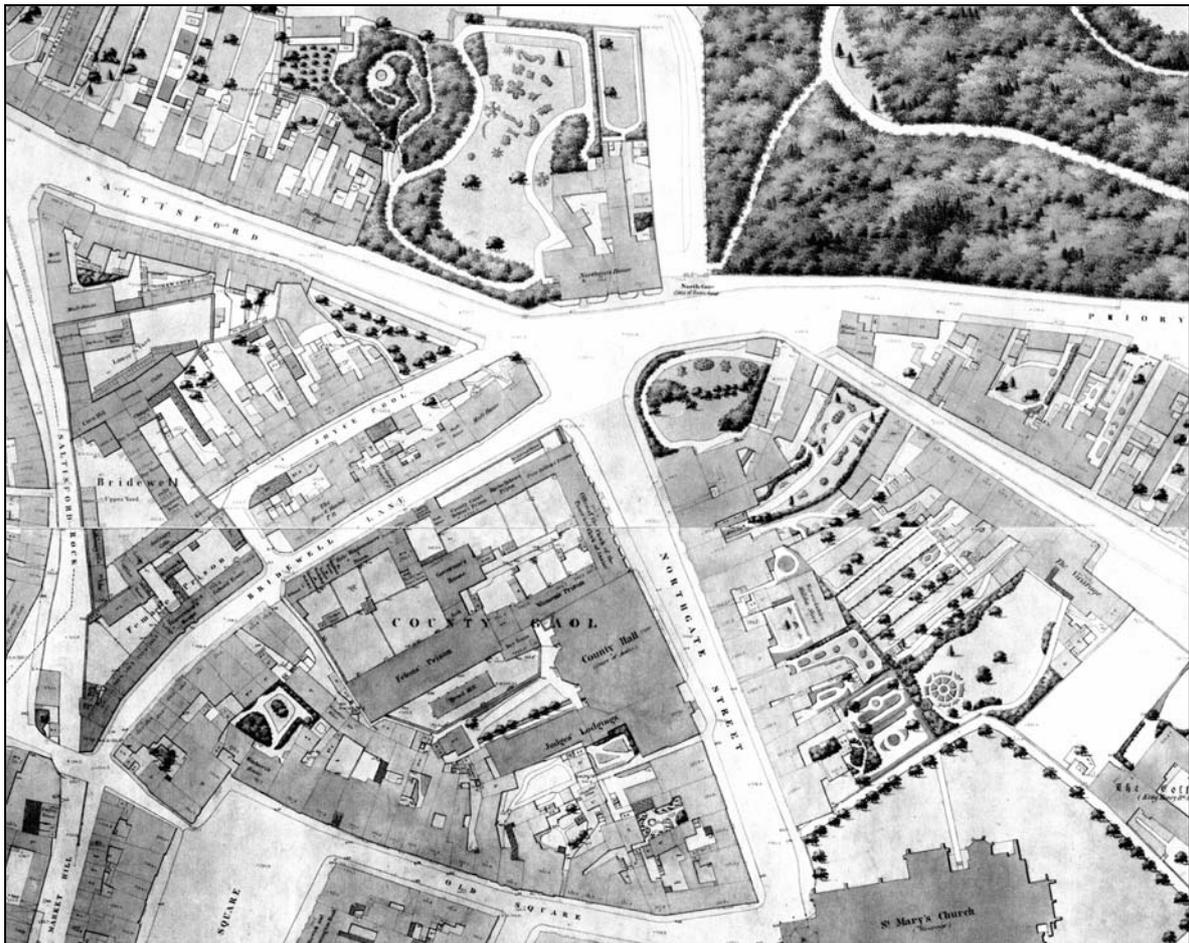


Fig 4: Detail from Board of Health map of 1851

## 2.2 Area A, Main Shire Hall complex

### Introduction

2.2.1 The Shire Hall block forms part of an area within the original town defences, probably set out by Ethelfleda in 914. It was later affected by adjustments to the town plan after the Great Fire of 1694, when Old Square outside St Mary's Church was laid out and Pebble Lane (which then ran through part of the block) was closed (Fig 5).

2.2.2 The history of the county buildings on the present Shire Hall site in Warwick, lying on the west side of Northgate Street, began at some unknown point in the mid 16th century when a house belonging to the earldom of Warwick started to be used for county affairs, including the Assize and Sheriff's courts. This property, known as the Shire Hall, has been rebuilt several times since then, but remains in use as the seat of the Crown and County Courts. In the late 17th century property to the north of this site was acquired by the county for the site of the county gaol and house of correction, and was developed for this use over the next two centuries. However, by the mid 19th century the gaol had outgrown the limits of the site, and a new gaol was built on Cape Road in the 1860s. The old gaol was rebuilt as a militia barracks and continued to be used for military purposes until 1930. From 1929 onwards the site was rebuilt as offices for the County Council.

2.2.3 Ownership summaries for the former properties which make up Area A are given in Appendix B. These are based on information provided by Stephen Wallsgrove for the period 1400-1800 derived from rentals, surveys, lists and other documents, ending with the first detailed maps of the town of 1786/1788, supplemented by a rapid survey of the WCC Deed collections. Further information on the 19th and 20th century inhabitants of the properties has been collected from directories.

### *Medieval and early post-medieval development*

2.2.4 The documentary evidence for properties and streets before 1400 is limited, and only rarely can deeds be identified with individual properties. The records show, however, that the Market Place existed by the 12th century, Barrack Street (previously called Walditch) by 1352, Northgate Street (also called Sheep Street, Great Street and North Street) by the early/mid 13th century, and Pebble Lane by the mid-14th century. The earliest reference to particular properties is a deed of 1392/3 which relates to three tenements. One of these can be identified with 11 Northgate Street (Fig 5, Plot A), since it adjoined the property which later became the Shire Hall, while the other two adjoined each other and can be identified with later copyhold entries in the Manor rentals on the other side of the Shire Hall.

2.2.5 In the 15th century, a reference of 1424 can be related to Nos 26-30 Old Square, which are described as two cottages paying rent to St Mary's Church, and a number of properties on Barrack Street are mentioned in the Warwick Estate rental of 1482. The records become more comprehensive from the late 16th and early 17th centuries, and give a better picture of the area. No 12 Market Place, for example, is recorded in a lease of 1584 as including shops, barns, gardens, and buildings. Nos 1 and 3 Northgate Street, along with most of No 2 Old Square and parts of 4-10 Old Square formed part of the end property on Canon Row, backing onto Pebble Lane, and ceased to exist in its previous form after the post-Fire re-planning. Nos 12-16 Old Square formed a tenement referred to as the 'Vicar's house' c.1545, the tenant (John Walwyn) paying rent to St Mary's Church.

## The Shire Hall

### *1470/80 Steward's Place/1571 Shire Hall/gaol*

2.2.6 In the Middle Ages the county gaol was situated in Gerrard Street, and attached to it was a hall where county courts were held. This remained the case until the mid-16th century, but the Gerrard Street hall and gaol were abandoned some time after 1542 (VCH 1969, 449). The gaol hall was replaced some time before 1576 by a building in Northgate Street belonging to the Earl of Warwick, formerly used by the Earl's steward of the Manor of Warwick and known as the Steward's Place (Fig 5, Plot B). This building was granted by Ambrose Dudley to the town of Warwick as part of a complex exchange of properties connected with the foundation of Leicester's Hospital, but on condition that the justices and the sheriff could hold their courts there (the original deed is lost, but a survey of 1580/81 gives some information) (WRO CR 1618/WA12/1).

2.2.7 From the terms of the 1576 grant it appears that the building was already called the Shire Hall, and it may have been used for county business for some years, possibly as early as the 1540s or 1550s, as the Crown held the earldom, and with it this property, from 1478 to 1547 and again from 1553 to 1562.

### *c.1580 Shire Hall rebuilt*

2.2.8 The Shire Hall is described as 'lately rebuilt' in a survey of town properties dated 1580/81, suggesting that the old Steward's Hall may have been demolished following the grant of 1576 (WRO CR 1618/WA12/1). In 1595, following the death of Ambrose, Earl of Warwick, the Queen granted it to the town for forty years. In 1600 the town obtained outright possession, but still on condition that the justices and the sheriff could use it (WRO CR 1618/W4/4). In 1583 the hall is said to have contained a bench, a bar, and a 'cheker' where the clerk of the court could lay out his books on a long table (VCH 1969, 450, quoting the Black Book of Warwick)

2.2.9 In 1674 it had a Great Gate (This gate may have been on the site of the gate of the medieval Steward's Place, referred to in an account roll of 1451/52 as being next to a tenement of Robert Brome's, which must be the Stonehall of the St Mary's rentals, on the south side of the Steward's Place: WRO CR 1886/491. The lease of 1674 gave Chernock the use of this gate "so long as the said gate or passage should be continued and no longer", which may indicate that there was already an intention to rebuild the hall) opening from Northgate Street into a yard behind part of the Shire Hall, and a garden behind that with a "house of office" in the south-east corner.

### *1675 Shire Hall & Gaol acquired by County Shire Hall rebuilt by 1686 by Hurlbutt*

2.2.10 In 1675 the town sold the Shire Hall to trustees, to be held on trust for the county, and from this point onwards it became a County possession (though the town was still to be allowed to use it for the election of MPs, for the town's Quarter Sessions and for the meeting of the court leet).

2.2.11 The hall was rebuilt following its purchase from the corporation, between 1676 and 1680. It was partly built on land was taken from John Pritchett, the owner of the house on its southern side (WCRS 1946, cxii). In recompense Pritchett was allowed 20 feet of land from the Shire Hall garden, adjoining his own, and to have materials belonging to the 'house of office' there in return for building a new one for public use.



Fig 5: Main Shire Hall complex (Area A), historic tenements



Fig 6: Main Shire Hall Complex (Area A), standing building phases

2.2.12 The new hall was erected under the supervision of William Hurlbutt, who was probably the architect of it and the new gaol and house of correction. It is illustrated in a drawing probably by Nicholas Hawksmoor (WRO PV WAR Shi 2; WCRS 1946, cxlviii-cxlix; Fig 7), which shows a symmetrical classical façade to Northgate Street, with a large central gate. It contained two court rooms and a grand jury room. Some of these may have been on an upper floor, as stairs are mentioned in 1688 (WCRS 1946, cxiv, cxv). This building, presumably of stone, survived the Great Fire of Warwick with comparatively little damage, although the houses to the south and the gaol to the north were completely destroyed. Repairs to the Shire Hall were subsequently estimated at £34 (Farr 1992, 139).

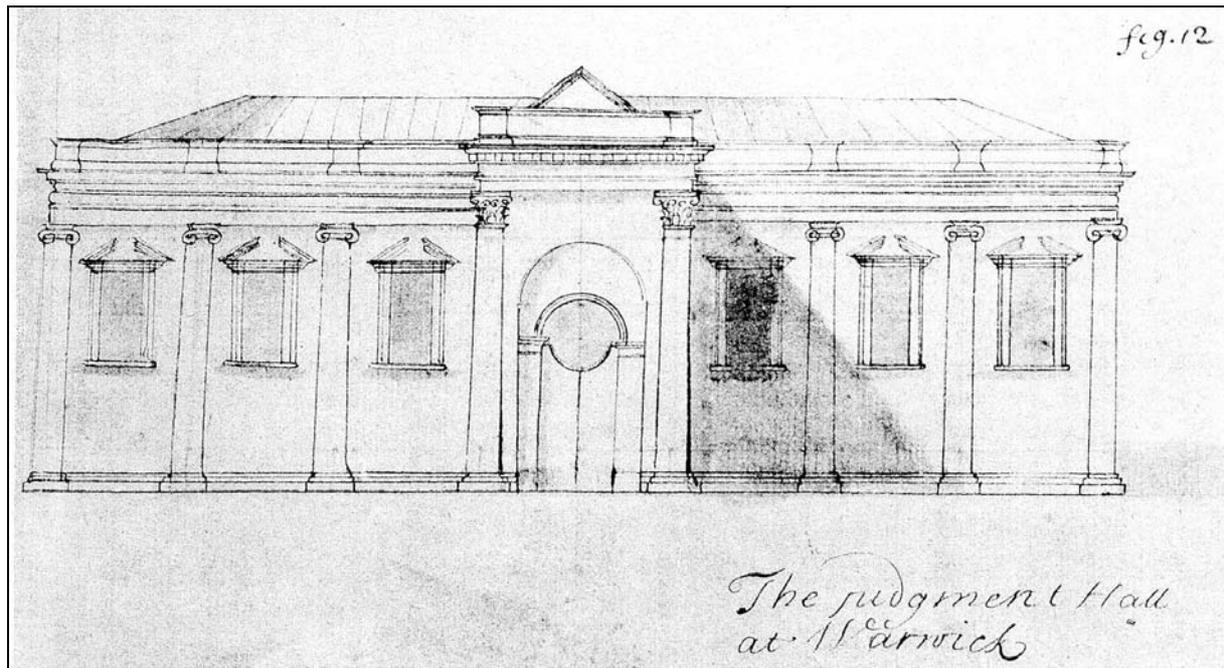


Fig 7: Sketch of Shire Hall probably by Nicholas Hawksmoor, c.1683 (WRO PV WAR Shi 2)

#### *Shire Hall/Courts rebuilt 1753-8*

2.2.13 Although less than eighty years old, the Shire Hall was completely rebuilt on its old site in 1753 to 1754, though it was not completely finished for some years after that. William and David Hiorn were the main contractors, but the design was probably mostly the work of Sanderson Miller of Radway Grange (Wood 1983; Fig 8)

2.2.14 The Hall was subject to various alterations in the years after its completion. The Grand Jury room was altered and possibly enlarged in 1769 to 1772, and the courts (originally open to the hall itself) were walled in, possibly in 1780 (Wood 1983, 152).

2.2.15 Substantial sums were spent on alterations to the two courts in 1844 and 1846, and in the latter year the stone floor of the main hall was replaced with a wooden one, gas lighting replaced oil lamps, and a moveable gallery 'suitable for orchestras or hustings' was provided over the main passage to the courts (WRO QS 43/1, 33, 58, 61, 63).

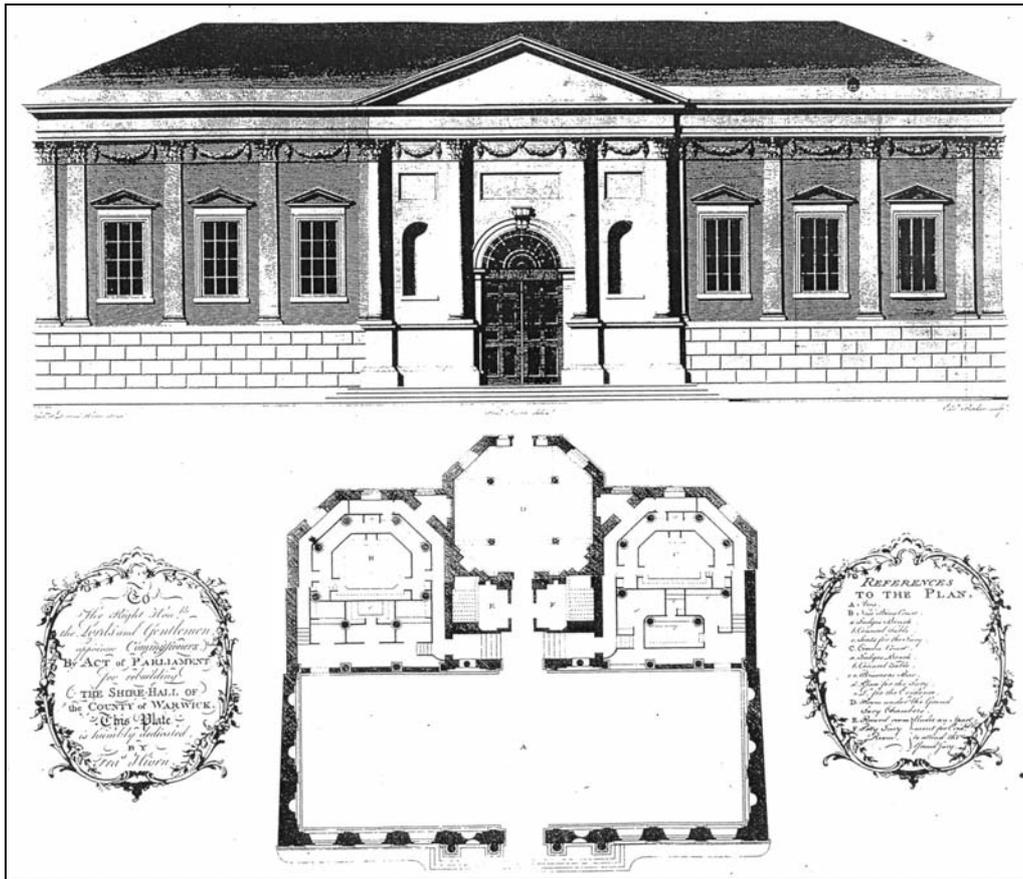


Fig 8: Drawing of Shire Hall, 1768, by Francis Hiorn (WRO PV WAR Shi 1)

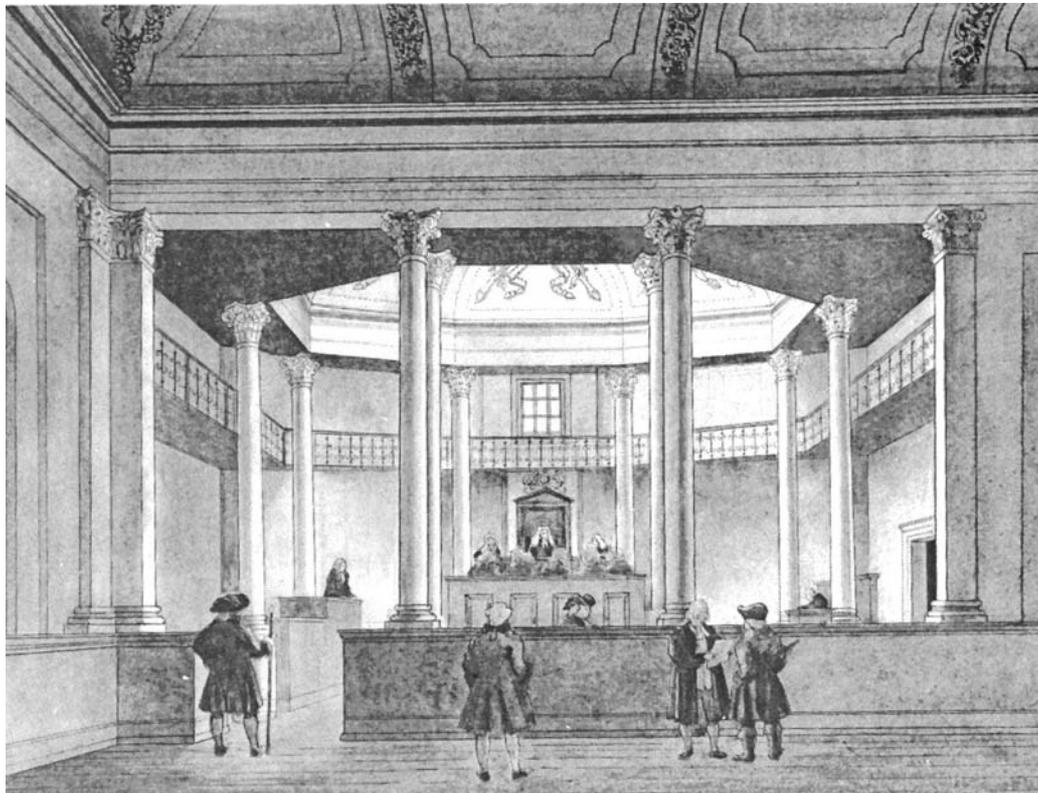


Fig 9: Reconstruction drawing by H. Hoskin showing probable appearance of courts open to Shire Hall, as originally built (WRO PV WAR Shi 6)

*Extensions to Shire Hall/Courts 1864*

2.2.16 The only major additions to the hall until the building of the county offices on the site of the old gaol and militia barracks was the provision of a retiring room for Assize judges, a Barristers' robing room, and a witnesses' waiting room on land which had been taken from the Shire Hall garden for extending the gaol in the 1790s (WRO QS 24/40, 42). These rooms were demolished in the 1930s building of the county offices, and replaced by new rooms. The passages below the courts, leading to the holding cells, were probably built in 1864 (but possibly 1798, when proposals for a passage from the gaol to the Crown Court are recorded although apparently unadopted) and altered in the 1930s.

*Shire Hall refaced 1948*

2.2.17 Notwithstanding the severe restrictions on building which continued in the aftermath of the War, the Shire Hall was refaced with Hollington stone in 1947-8, as the stonework had seriously deteriorated to the point of becoming dangerous. At the same time the County Council's coat of arms was added to the pediment, previously plain.

**The County Gaol**

2.2.18 The medieval gaol in Gerrard Street appears to have been abandoned in the mid-16th century. It seems that it was located in the gaoler's own house for most of the 17th century. From 1663 onwards it was in a house in the High Street (VCH 1969, 449)

2.2.19 In addition to the gaol, there was also a separate House of Correction from at least as early as 1625, used not so much for punishment of criminals (as in the gaol) as for the support of the poor and the reform of the idle. From 1631 at least, this was situated in a house at the corner of Northgate Street and Barrack Street, rented out for this purpose (Fig 5, Plot D). However, in 1675 it was decided to build a permanent gaol and house of correction on a site immediately adjoining the Shire Hall. The site in question consisted of a house on Northgate Street, north of the Shire Hall, with a garden and orchard behind, a barn and garden on Barrack Street which bounded onto the orchard of the Northgate Street house, and four houses on Barrack Street on the east side of the barn and garden. The first two properties were owned by Robert Chernock, and the four houses belonged to William Smith: all were purchased in October 1676 (Fig 5, Northgate Street Plot C, Barrack Street Plots C-F).

*New gaol 1677-86*

2.2.20 The new gaol and house of correction were built by William Hurlbutt on the land bought from Chernock and Smith, starting in 1677. Detailed information about the new buildings in the Quarter Sessions records is scanty, but the existing dungeon was ordered to be built in 1680. A well house stood between the garden of the gaol and that of the house of correction in 1685 (but the latter may have been the old house of correction on the corner of Northgate Street and Barrack Street).

2.2.21 The buildings were finished by about 1686, but were completely destroyed by the Great Fire of 1694. From the survey made after the Fire, it appears that the gaol had consisted of a 'double' building (two rooms deep?) of 8 bays fronting Northgate Street, and a long building of 21 bays projecting at the back, together with 3 bays of "barning" (the range on Northgate Street and the barn may have been part of the buildings existing before 1676). The house of correction consisted of a single range of 6 bays fronting onto Barrack Street.

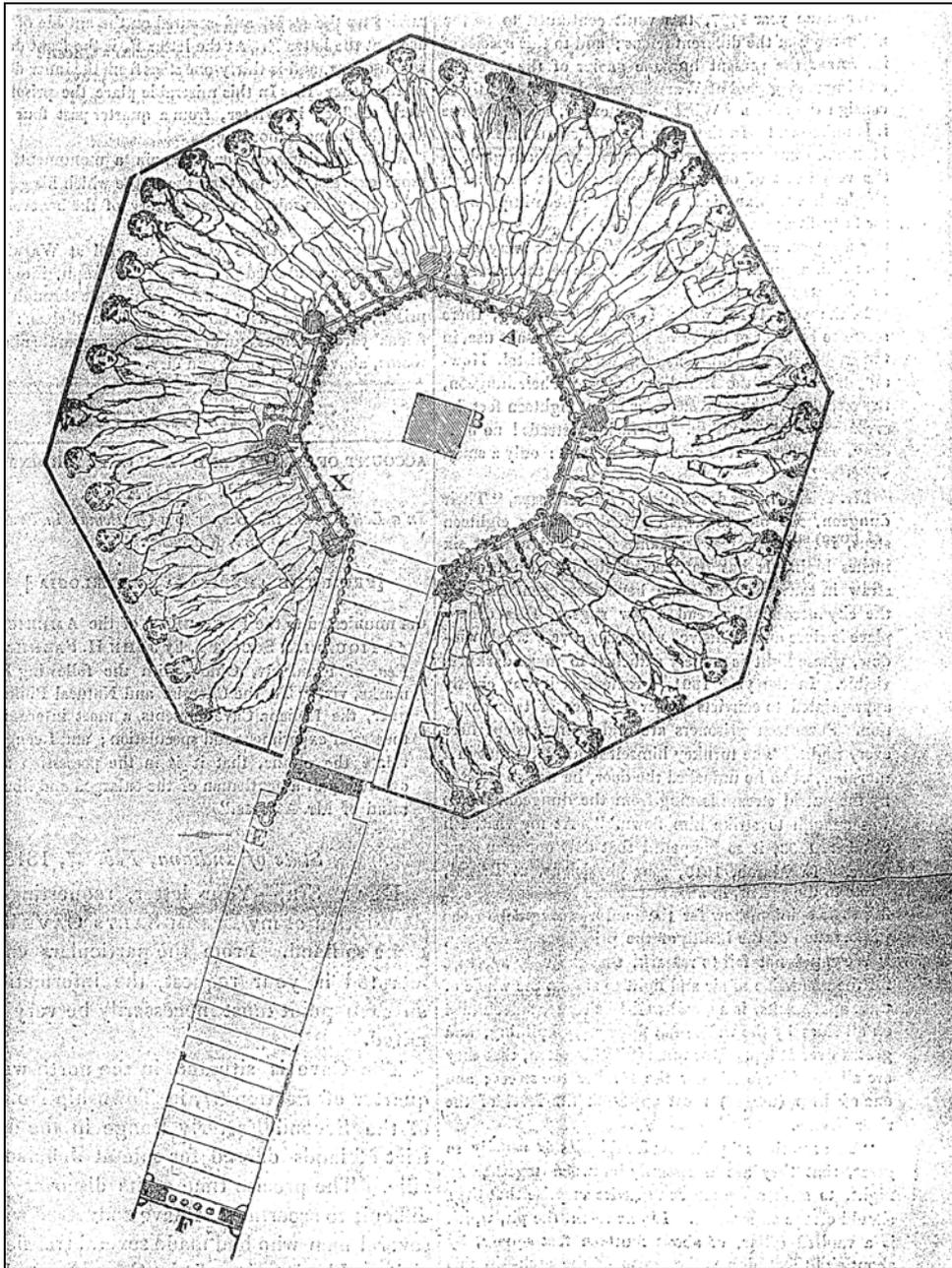


Fig 10: Engraving showing arrangements for shackling prisoners at night in the dungeon of 1680 (WRO CR 2547/50/6)

*Gaol destroyed by fire 1694, rebuilt by 1696; replanning following fire*

2.2.22 After the Fire the gaol and house of correction were quickly rebuilt, and appear to have been finished by 1697. However, the new buildings were on a very different plan from the pre-fire ones, as the gaol and the house of correction now both fronted onto Northgate Street. The gaol lay on the north side of the Shire Hall, and the house of correction on the north side of the gaol (WCRS 1946, cxvii).

2.2.23 The general layout of the post-fire gaol can be tentatively reconstructed from descriptions in QS records and John Howard's report of 1776, from a plan of gaol before the comprehensive rebuilding of 1790 to 1798 and from maps of 1711 and 1788 (WCRS 1946, cxvi; WRO QS 24/5579, No 4; Warwickshire Museum 1978; Figs 3, 11).

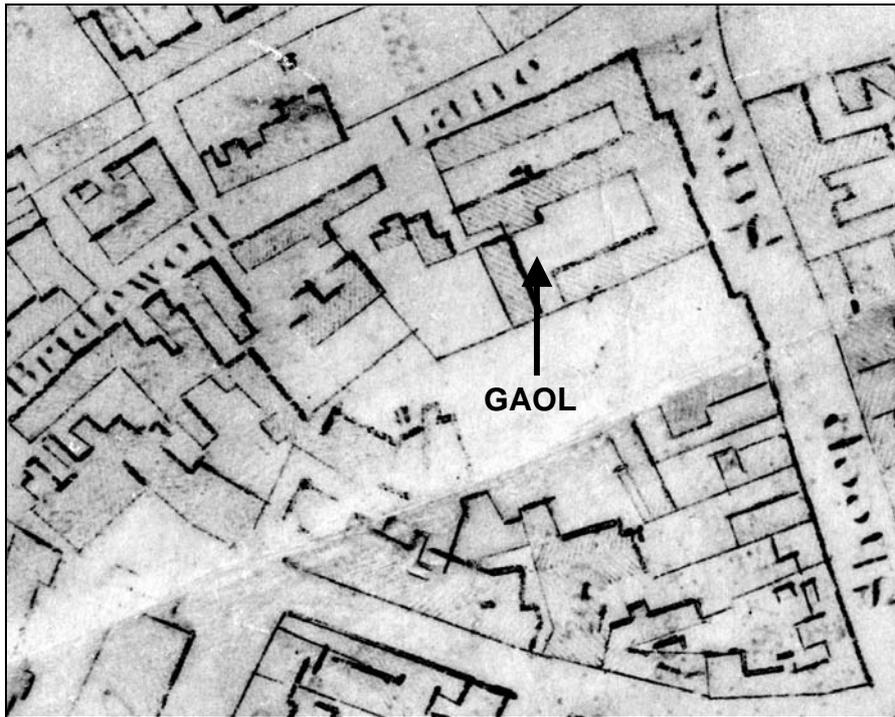


Fig 11: Detail from Baker's map of 1788

2.2.24 Facing Northgate street was a three storey range for debtors, consisting of three rooms on each floor (two parlours and a taphouse on the ground floor in 1733, and three chambers on the two floors above which could be rented by those with means). It seems likely that this range would also have contained the gaol keeper's residence. Stretching back from this, against the side of the Shire Hall, was the debtors' hall and the dungeon hall (the latter a day room for felons), with chambers and garrets above for men debtors who could not afford to rent their own rooms. The surviving dungeon was the night room for felons, and was presumably close to the dungeon hall. There was another dungeon, containing two cells for those condemned to death, but its location is uncertain. On the north side of these buildings was a court, shared by the men debtors and felons. Women felons had a separate court, with a day room and two night rooms, probably over the day room. The women's quarters probably lay to the west of the men's, and may have completed a quadrangle with the house of correction. Fish and Bridgeman's map of 1711 appears to show a quadrangle (Fig 3; Warwickshire Museum 1978).

2.2.25 To the north of the gaol, entered by a passage that presumably ran through the northern end of the three storey Northgate range, was the house of correction, described in 1704 as consisting of an entry or passage from Northgate Street which led in turn to a parlour, a kitchen, two little butteries, and a well house. On the south side of the well house was a meal [i.e. malt?] house, and over the entry and the other rooms were chambers. This wing was probably reused as part of the gaol in the alterations of 1779 to 1783, as the middle wing of the 1779-1783 gaol had a very similar arrangement, and ended on the west with a brew house converted from the house of the keeper of the old house of correction. To the north of this wing were more buildings, presumably against Barrack Street. Some of these also appear to have survived the 1779-1783 rebuilding when they were apparently converted into additional accommodation for debtors. They are shown on a plan of the old gaol of c.1787 (WRO QS 24/579, No 4), and are presumably some of the buildings referred to in Henry Couchman's description of the old Bridewell of 17 July 1788 as 'intended to be laid to the Jail' (WRO QS 32/1, Mids. 1788). However, this small block survived until the demolition of the gaol in 1860.

2.2.26 To the west of the gaol and house of correction were two gardens or yards, possibly extending over the site of the pre-fire house of correction to Barrack Street. Shortly before 1704 a stone wall was built, dividing the gaol garden from that of the house of correction (WCRS 1946, cxvi, cxvii). Some buildings (presumably offices) stood in the house of correction garden, on the north side of this wall. In 1743 a well was ordered to be sunk in the yard of the house of correction. In 1788 the gaol was entered via Barrack Street through a court in this position, and the 1788 town plan shows two small buildings in the centre of this court and a range of buildings along part of the Barrack Street frontage (WRO QS 32/1: Henry Couchman's report of 17 July 1788 in Indictment Roll for Mids. 1788)

*Gaol rebuilt 1779-83, 1784-1798, abandoned 1860*

2.2.27 Between 1779 and 1783 the gaol and house of correction were rebuilt and enlarged according to the plans of Thomas Johnson, a Warwick architect. This had been planned from at least as early as 1775, when negotiations were begun by the county to buy the house at the corner of Northgate Street and Barrack Street, adjoining the house of correction.

2.2.28 The alterations built by Johnson consisted of two main blocks, built in two phases. The first phase, begun and completed in 1779, was a two-story range of chambers for debtors built on part of the site of the corner house, against Barrack Street. The second and more elaborate phase, which began with the completion of the first phase, involved the demolition of the remaining part of the corner house and of the old front range against Northgate Street, and its replacement with the existing imposing Doric façade. More debtors' chambers were made from part of the old house of correction buildings against Barrack Street, and the Northgate Street block contained the gaoler's and turnkey's accommodation and the debtors' day room (WRO QS 24/578: this bundle contains a written statement of Johnson's original scheme to accompany his plans and models, together with contracts of 8 February and 12 December 1779. The latter document shows that the original scheme was not completed in its entirety).

2.2.29 These works were finished by 1783, and the rest of the gaol and the house of correction appears to have been left more or less intact by Johnson. However, further and much more elaborate alterations were about to begin which would considerably increase the size of the gaol and the house of correction, and remove most of the remaining parts of the late 17th-century gaol.



Fig 12: Architect's model of 1779-83 gaol - contrast steps, pediment and absence of railings with Figs 16 and 17 below (WRO PH 143/1118)

2.2.30 From 1784 to 1787 a new house of correction was built on a site in Joyce Pool, on the other side of Barrack Street (see Area B below), and alterations were made to the old house of correction for the enlargement of the gaol. However, such was the need for increased accommodation for felons and debtors at this time that even this was not enough. Many different schemes for a radical expansion of the gaol were considered (including a plan to extend over Barrack Street and into Joyce Pool), before plans by Henry Couchman (the County Surveyor) for extending and altering the gaol were finally adopted in 1790.

2.2.31 Thomas Johnson's new buildings were retained, but extensive new works were built on the gardens and yards at the back of the Shire Hall and the gaol, and the buildings of the old house of correction were either demolished or converted into new accommodation for the gaol. Some new land was acquired by purchasing a property owned by Oken's Charity on the south side of Barrack Street (Bought from the trustees and Thomas Hawkes (who held the property on a 99 year lease) on 29 February 1792 (Fig 5, Barrack Street plot A) to the west of the County's existing property, and by appropriating a narrow slice of the south side of Barrack Street (about 15 feet wide at the east and 10 feet at the west end of the new gaol). Johnson's ranges along Northgate Street and Barrack Street were kept, as was the old range adjoining the Shire Hall (partially converted for the accommodation of women felons) and part of the old house of correction next to Barrack Street (converted for accommodation of debtors): everything else was swept away.

2.2.32 A massive new cell block for felons was added west of the old gaol, partly on the Shire Hall garden (The walls of this block, four storeys high, were to be ready for roofing by 20 November 1792: letter of Henry Couchman, junior, in QS 32/2, Mich. 1792). This contained four stories of cells, all vaulted in brick, with day rooms on the ground floor. To the south of this was a trapezoidal space taken from the same garden, enclosed by a wall 20 foot high ordered to be built at the Michaelmas Sessions in 1790 (WRO QS 39/10). By 1851 this was used as the site of a large treadmill, worked by the prisoners (Figs 13, 16).

2.2.33 To the north of the debtors chambers built by Johnson and those converted from part of the house of correction a "court of safety" was built on land taken from Barrack Street, enclosed by a stone wall about 25 feet high, at the west end of which was the main entrance to the gaol. Various plans for extensions c.1790 exist amongst the Quarter Sessions records, but the original plan as actually built does not survive. There is a version almost as built, in which the chief differences are the position of the Governor's house, the detail of the gate to Barrack Street, and the layout of the courtyards on the east and west sides of the Governor's house (WRO QS 24/579, No 24; Fig 14).

2.2.34 Early in 1793 the justices decided to stop the works, and ordered Couchman to finish off the Barrack Street wall and entrance block, but not to proceed with any buildings against this wall save for a porter's lodge (which was to be made from one of the existing debtor's rooms, presumably at the west end of the surviving part of the old house of correction) (WRO QS 39/10: Minute Book for 1789-1805, order of Easter Sessions, 1793).

2.2.36 Building restarted in 1796, and included a chapel approached by a staircase with workshops underneath, lavatories, a bath, laundry facilities, porter's lodge, and a 'chevaux de frise' to a dwarf wall (WRO QS 39/10, orders for the completion of these works in minutes of Midsummer and Michaelmas Sessions 1797). The dwarf wall may have been that enclosing a path beyond the main wall of the gaol on the west side, leading to the remaining part of the Shire Hall garden. Most of these were obviously a completion of the works stopped in 1793, and were incorporated in a range along Barrack Street west of the main entrance (see the 1851 Board of Health map, Fig 16, which places the workshops in the north-west range).

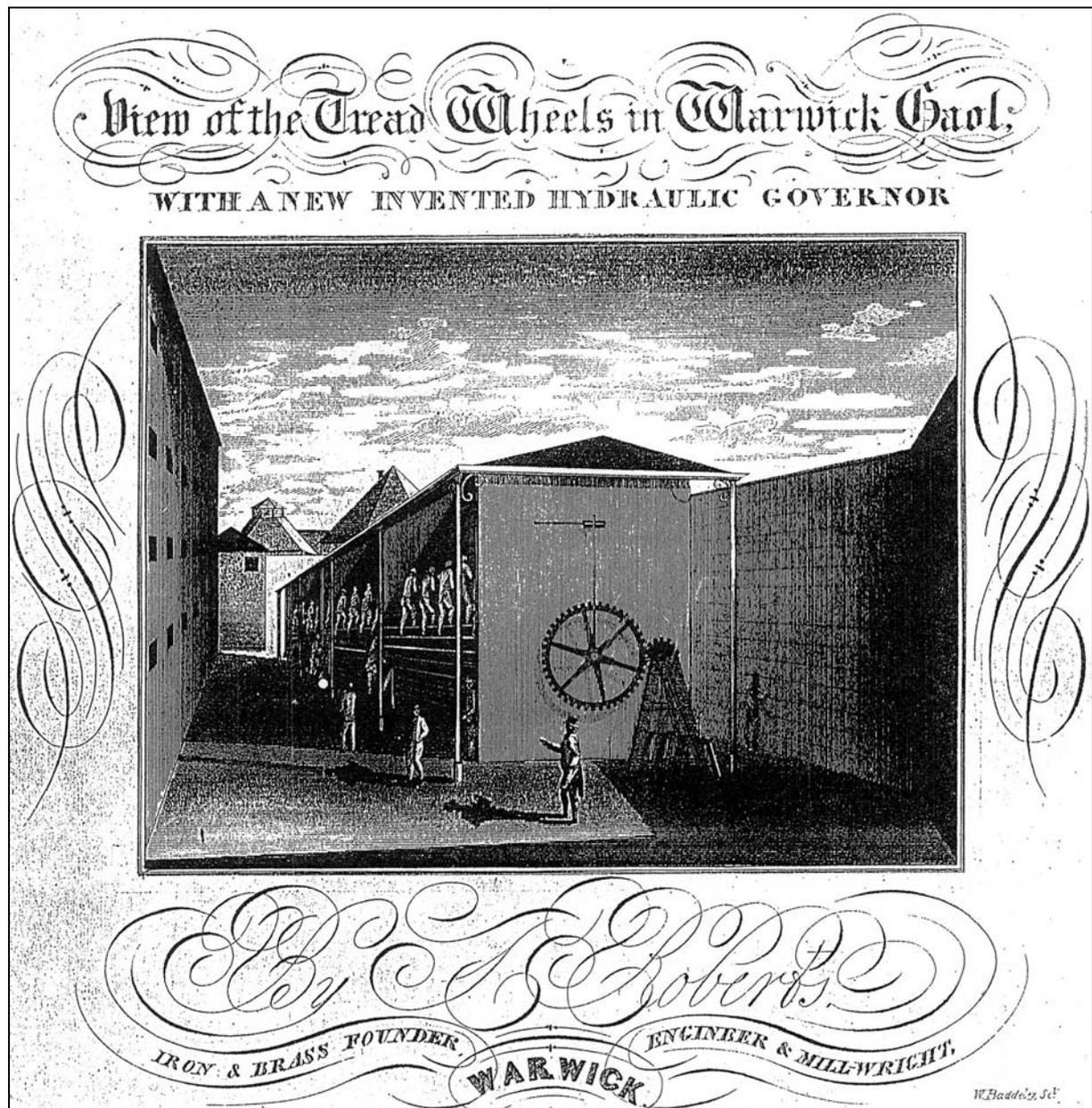


Fig 13: Manufacturer's engraving of the treadmill in Warwick Gaol  
(WRO PV WAR Gao 1)

2.2.37 Other works were also carried out, and many old buildings in the centre of the gaol were swept away to form a large area that was intended to be divided into separate courts, two for the debtors and one for the women. (presumably the demolitions included the middle wing of the old gaol). At the same time the quarters for the women felons (in the wing against the Shire Hall) were much altered (WRO QS 32/2: report on the state of Warwick Gaol dated 16 April 1798, WRO QS 32/2, Easter 1798). It is possible that the Gaoler's house, a large four-square building in the centre of the expanded gaol, was built in this period as it is shown on Couchman's preliminary plans of the gaol of c.1787-1790, and an order for chimneys on the Gaoler's house was made at the Midsummer Sessions in 1798 (WRO QS 39/10).

2.2.38 Henry Couchman was relieved of responsibility for the gaol buildings in 1798, and subsequent works were entrusted to John Docker. These probably involved the completion of Couchman's scheme, but details of Docker's works are scanty. He is



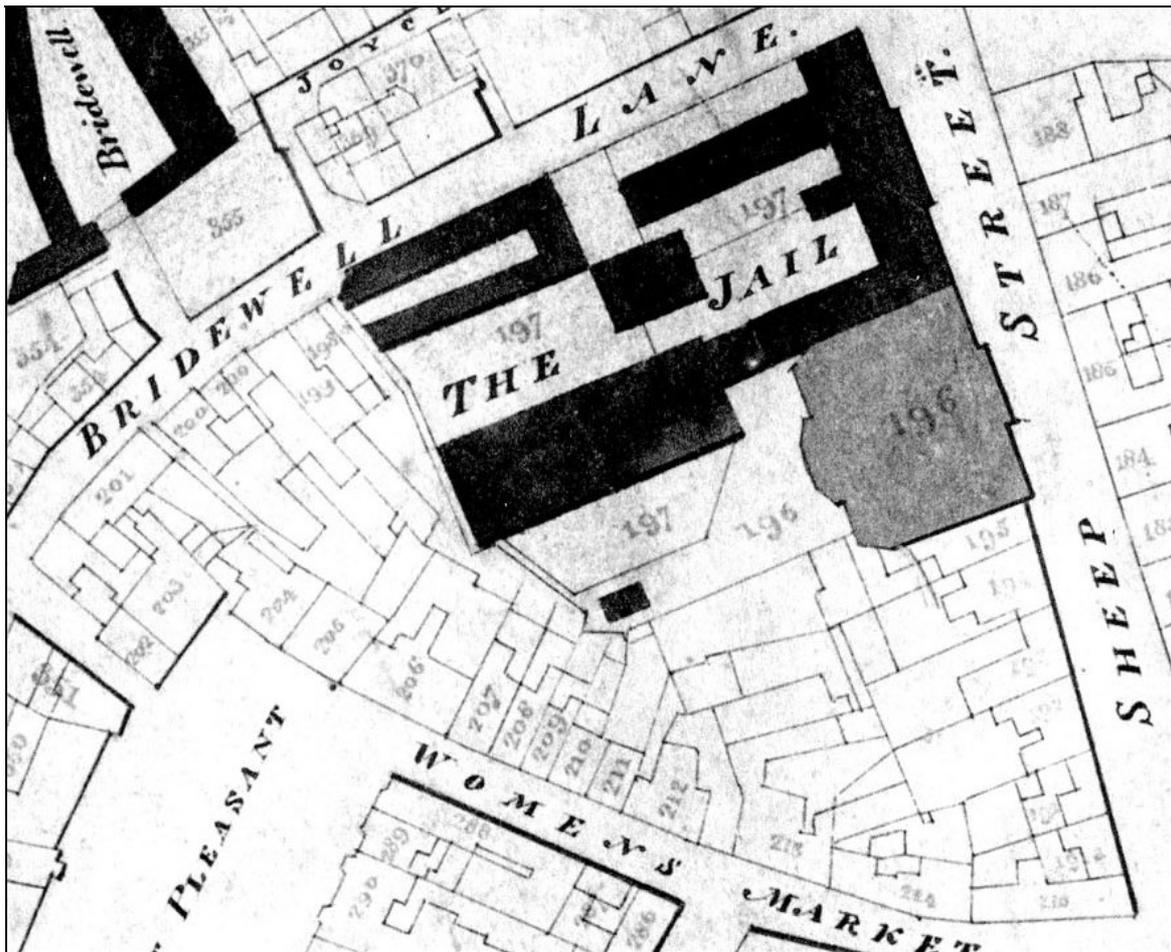


Fig 15: Detail from James' map of 1806

2.2.40 One mystery is the plan of the gaol on James's map of 1806 (Fig 15), which shows a "U" shaped block in the north west quarter of the expanded gaol site. (This is also shown on a version of the 1788 map (WRO CR 1886/M32), but is obviously a later addition). The southern limb of this block does not appear to have been built; it is not referred to in any of the records, and does not appear on the 1851 Board of Health map (Fig 16). It may have been part of proposals under consideration in 1806 and never adopted, or part of Couchman's plan that was never built.

### The Militia Barracks

*Militia Barracks 1860-1905, War Office record Office 1905-1930*

2.2.41 By the 1840s the gaol was again requiring expansion and updating, and after considering the possibilities of doing this on the existing site (including a revival of the plan for blocking Barrack Street completely), it was decided to build a gaol in a new site off Cape Road. This was finished in 1860, and the prisoners transferred. The buildings of the old gaol were then mostly demolished and the materials sold. At the Michaelmas Sessions, 1861, the justices adopted the County Surveyor's plan to use the site for a militia barracks for the first regiment of the Warwickshire Militia, and work began in 1862. The Barracks are shown on the Ordnance Survey 1:500 map of 1887 (Fig 19).

2.2.42 All that was retained of the gaol was Johnson's building fronting Northgate Street, the south and west walls of the women's prison (which may have been

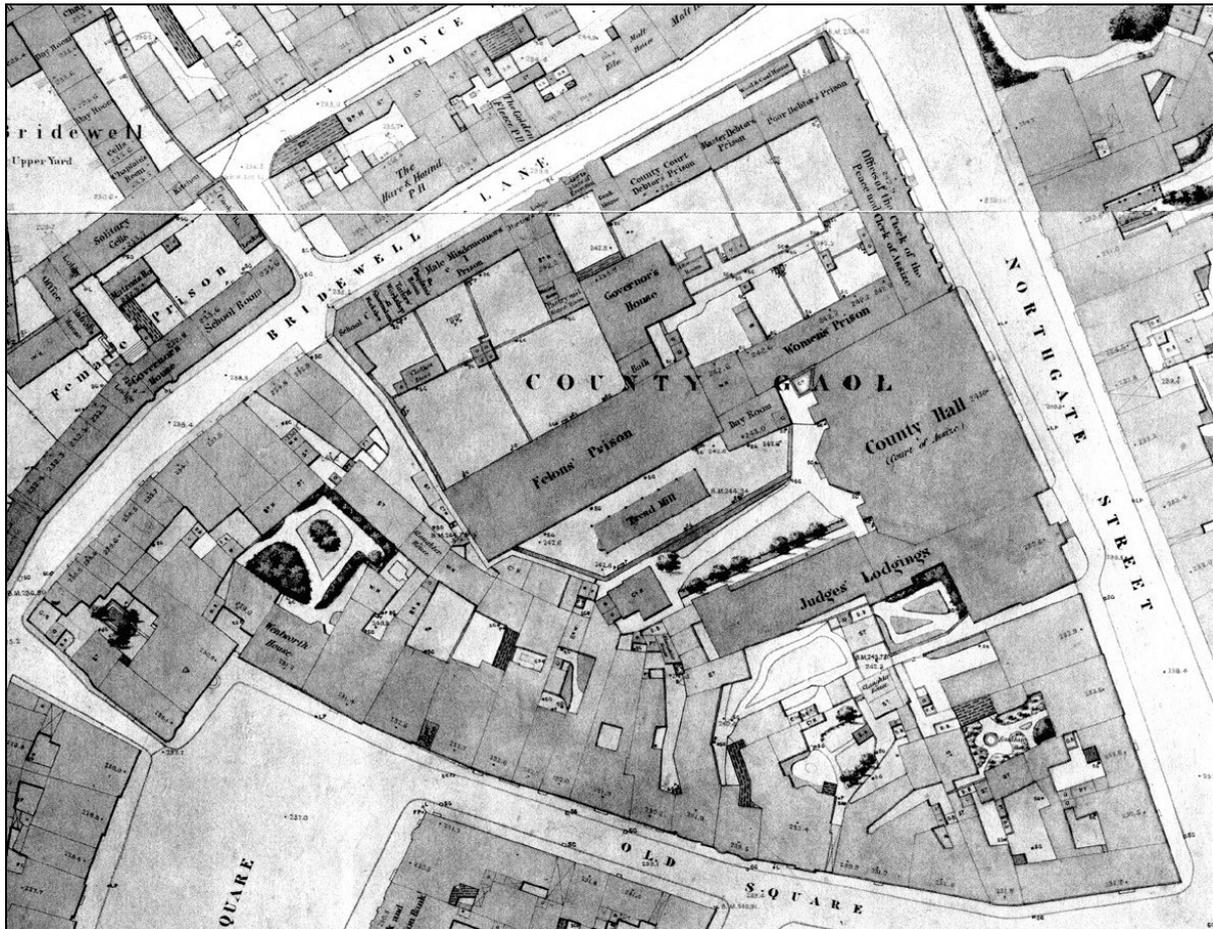


Fig 16: Detail from Board of Health map of 1851

survivors from the post 1694 gaol), the outer wall of the 'court of safety' along Barrack Street to the gate, the gate, and the range of buildings along Barrack Street west of the gate (Plans for these buildings are amongst the Quarter Sessions records: WRO QS 24/ 570). The Northgate Street frontage was altered by the insertion of a ground-level gateway replacing the raised doorway in the centre of the façade, which gave access to a small courtyard occupying the south-east corner of the site by the Shire Hall (Fig 18). This contained a two storey row of cells along the side of the Shire Hall for the reception of prisoners appearing in the courts. The southern half of the Northgate Street building was kept for the Clerk of the Peace's office, but the rest of this building and the other two sides of the small courtyard were reserved for the militia (including a mess room in the northern part of the Northgate Street building). The remaining part of the former gaol site (with the exception of the eastern half of the trapezoidal yard formerly containing the tread mill, which was retained by the county) was rebuilt as a large open courtyard surrounded by ranges of offices and living accommodation for the militia (Figs 19, 20). Two cellars were constructed under the officers' quarters on the south side of the courtyard.

2.2.43 The militia barracks remained in military occupation until 1930, though its uses changed over the years. The premises were used as a record office for a group of Midland regiments from before the First World War and for some years afterwards. In 1929 the War Office gave up part of the premises to allow the building of new County Council Offices to begin.



Fig 17: The gaol (to right), Northgate Street elevation in 1829 (WRO PV.WAR.NOR.3)



Fig 18: The former gaol in the early 20th century during military use, Northgate Street elevation before alterations in connection with the 1932 offices (WRO PH 352/2362)

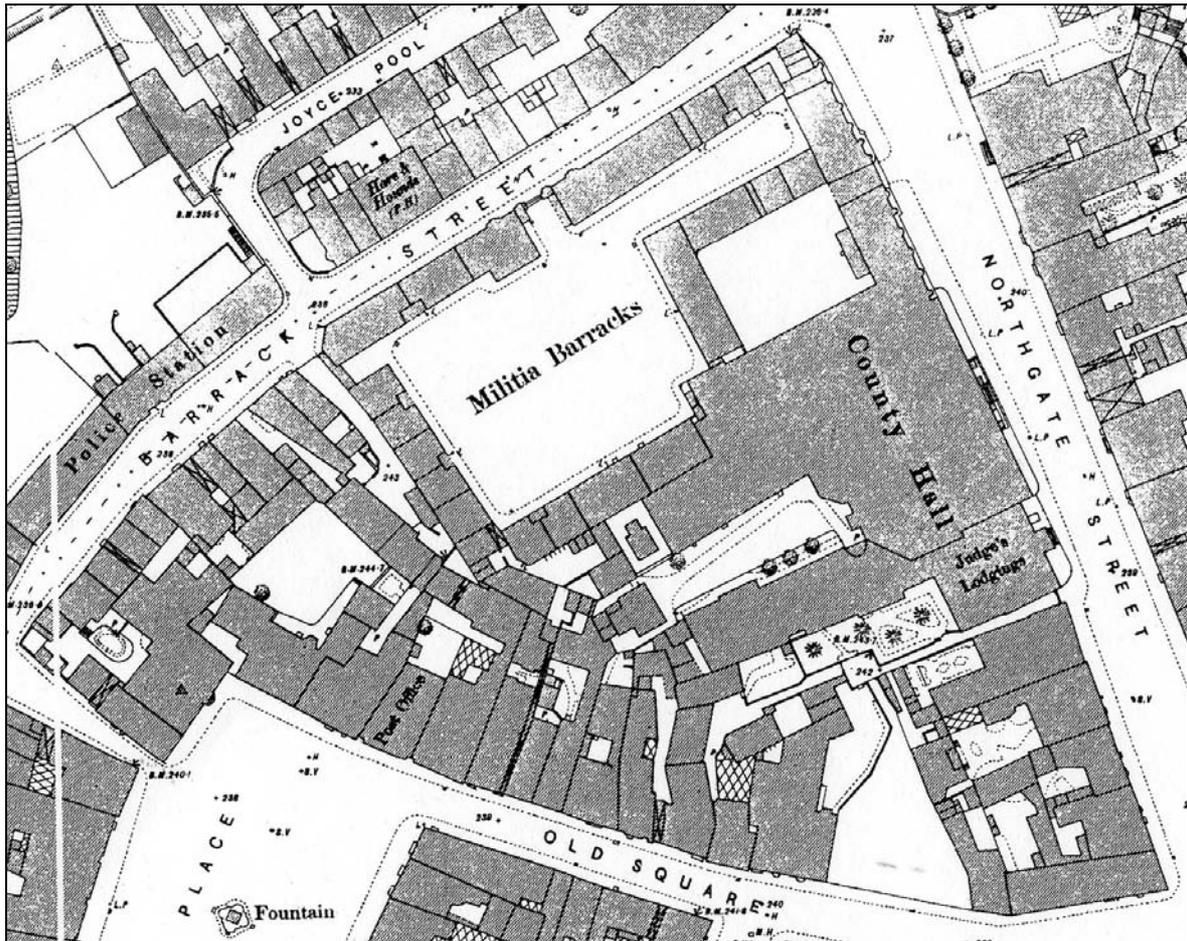


Fig 19: Detail from Ordnance Survey 1:500 map of 1887

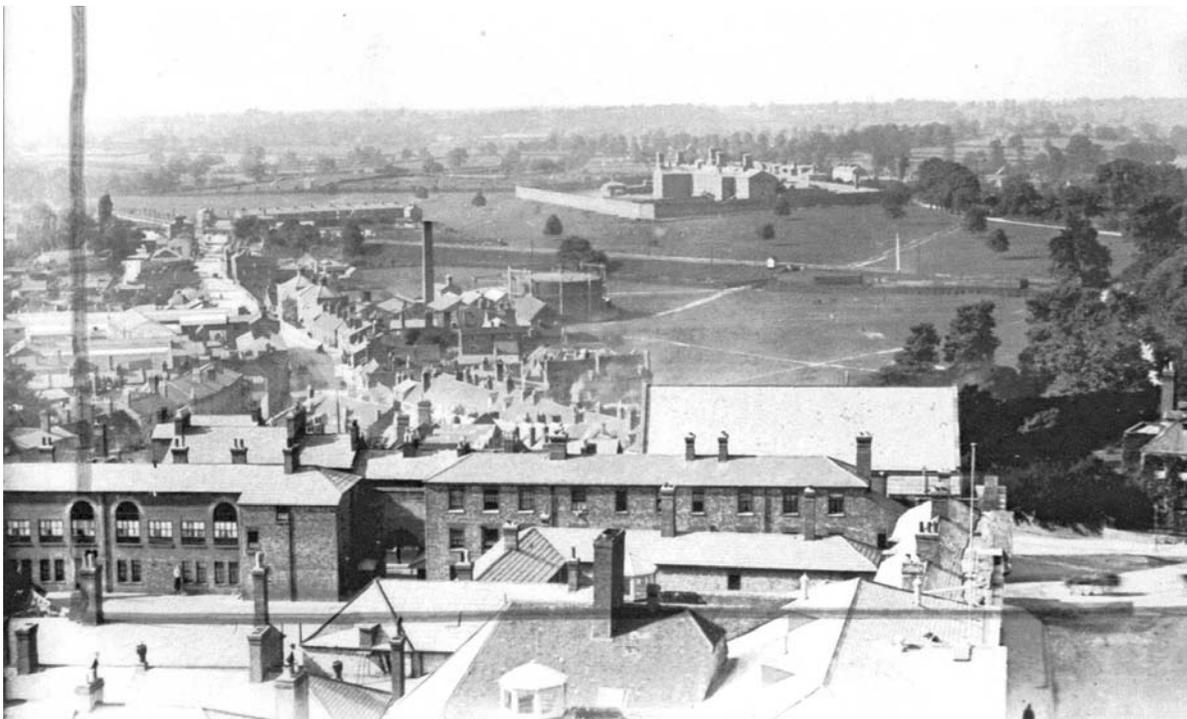


Fig 20: View over the Militia Barracks, c.1890, showing the rear of the buildings along Barrack Street and the courtyard, with the roof of Shire Hall in the foreground. The new (1860s) Cape Road prison is visible in the distance (WRO PH 222/27)

## The Judges' House

### *Judges House 1814-16*

2.2.44 This was built in 1814 to 1816 on the site of two houses to the south of Shire Hall, purchased in 1814 for £546 (No 9 Northgate Street) and £900 (No 11). It was designed by Henry Hakewill and cost £8,000. It was intended for use by visiting Assize judges, but was also used by the county justices and later by the County Council. The architect's plans exist amongst the Quarter Sessions records (WRO QS 24/36). Additional land to the rear was acquired in 1816 and 1883 for £400 and £350 respectively. The only alteration to the original house noticed in the records was the insertion of a lavatory in the coal hole in the rear wing in 1932 (WRO CR 2487/858). The ground floor plan prior to demolition of the original rear wing is included in Fig 22, to the left and rear of Shire Hall and the *Nisi Prius* Court.

### *Alterations and extensions, 1953-1963*

2.2.45 Anticipating future requirements the Council acquired the adjoining properties to the south in 1936 and 1937. In 1955 No 7 Northgate Street was demolished and replaced by a new building in a contemporary style but reminiscent of the original, set slightly further back and also of two storeys plus attic and basement. This provides a second entrance and service facilities, with interconnecting doors joining it to the original Judges House, and replaced the original rear wing, demolished around the same time to permit the construction of the new Council Chamber. In 1963 Nos 3 and 5 Northgate Street were in turn replaced by an extension to the 1955 building in exactly the same style, with living, office and service facilities, and an open yard to the south adjacent to No 1 Northgate Street (Fig 21).

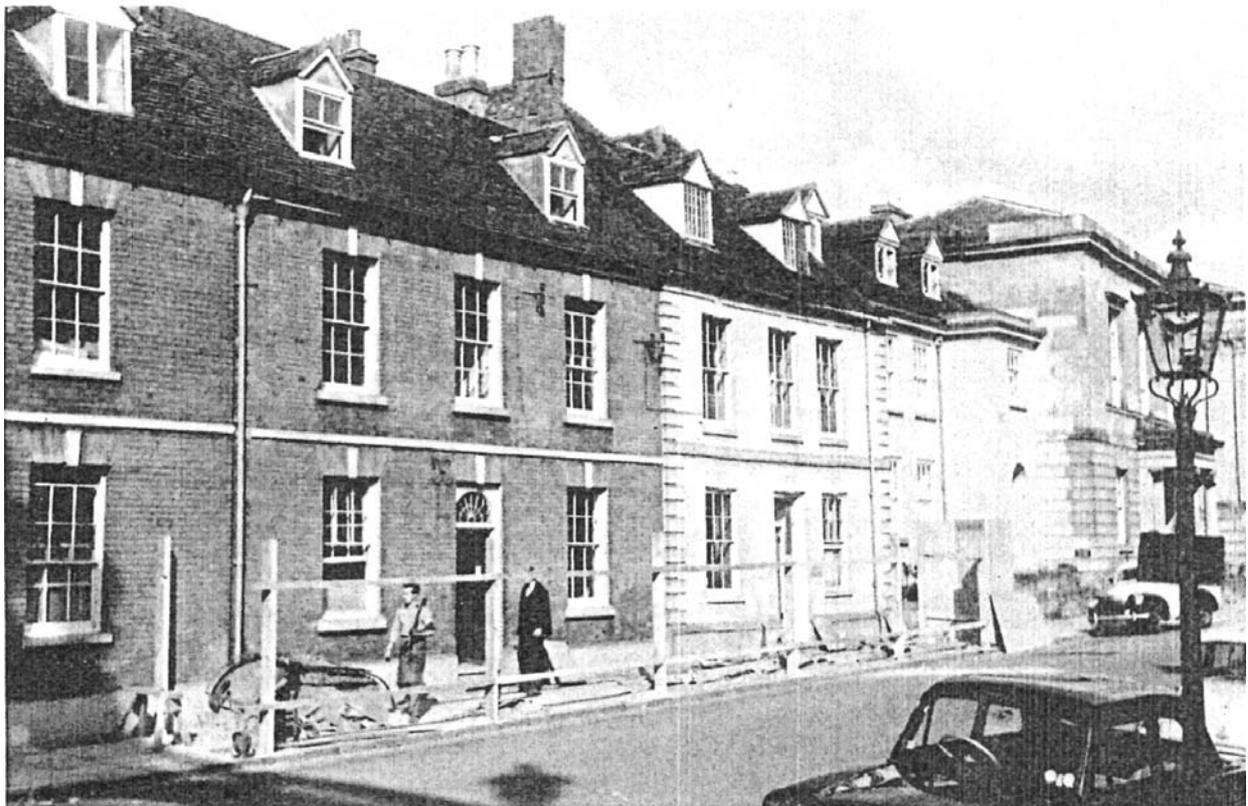


Fig 21: Nos 3 and 5 Northgate Street during demolition, August 1962, with the 1955 extension (set back) and the Judges House to the right (WRO PH 143/861)

## Council Offices and Members' facilities

### *Demolition of Militia Barracks and construction of Council Offices, 1929-1932*

2.2.46 By the 1920s, the increasing functions of the Council were putting pressure on the existing office facilities. The Local Government Act of 1929 exacerbated the situation by adding responsibility for all rural roads and classified urban roads, and creating a new Public Assistance Department to take over the poor law functions formerly provided by boards of guardians. The new departments also added to the burden of the Finance Department and administrative matters such as personnel management. Taking advantage of government assistance, a scheme was prepared to demolish the War Office premises in the former Militia Barracks and redevelop the site with new office accommodation, enabling the County Council to bring many of its departments together in a purpose-built civic centre.

2.2.47 The new buildings were designed by the County Architect, A.C. Bunch, and were laid out around two quadrangles. They incorporated the existing 18th-century facades in Barrack Street and Northgate Street; contemporary photographs (WCC 1932, 15) and plans indicate that the masonry was repaired at the time, not in the 1940s as sometimes stated (eg Clifton-Taylor 1981, 34). The architect's drawings also indicate that elements of Johnson's 18th-century gaol building behind the Northgate Street facade, which had been retained in the 1860 alterations, were again retained and incorporated into the new offices (Fig 23). The rest of the former Barracks was demolished. The original windows in the façade to Northgate Street were replaced by larger windows, and arched pedestrian entrances were inserted either side of the 19th-century arched main entrance. Windows were inserted into the façade of the 1790s wall along Barrack Street. The scheme included provision for a new Council chamber, committee rooms and members' facilities on the south side of the inner quadrangle but these were not built, initially due to financial constraints and later because of wartime restrictions (WRO CR 2487/WBC 681; Figs 22-24).

2.2.48 The foundation stone for the new development was laid by the Chairman of the Council, Lord Algernon Percy, on the 24th September 1929, and it was completed and formally opened (along with additional offices on the east side of Northgate Street; see Area C below) on 12th October 1932. Although the omission of the proposed Council chamber meant that it was still necessary to hold quarterly meetings of the council in the *Nisi Prius* Court (the current County Court), the new facilities were adequate until the Second World War, although future needs were anticipated by plans for further expansion (WCC 1966).

### *Expansion proposals, 1930-1937*

2.2.49 In pursuit of this expansion, between 1930 and 1937 the Council acquired all the properties at the west end of Barrack Street, the north side of Market Place and the north side of Old Square as far east as the Post Office, the last few after a Public Inquiry in 1937. In 1937 the County Architect prepared plans to provide the new Council Chamber and councillors' accommodation on the south side of the inner quadrangle, with additional office wings fronting Barrack Street, Market Place and Old Square. In principle these were similar to the layout eventually built, but differed significantly in detail. There would have been a main entrance facing Market Place, adjoining the existing No 10 Market Place (Abbotsford) and continuing its architectural style, with a two storey arch, pilasters and pediment. The archway led into an irregular courtyard facing the entrance to the 1932 wing, with offices on all sides (WRO PV WAR Shi 5).

2.2.50 The Ordnance Survey 1:10560 map of 1938 shows that Nos 2-14 Barrack Street had been demolished by that date, but outbreak of the Second World War halted the scheme.





Fig 23: 1932 offices, detail from architect's plan indicating 1932 construction in red and retained earlier masonry in grey. Northgate Street along bottom, Barrack Street on right. The range shown along the south of the outer quadrangle (left side upper) was not retained in the 1932 scheme as built (WRO CR 2487/WBC 681).



Fig 24: Aerial view of the new council offices, taken in 1932. Also shows the new offices to the rear of the east side of Northgate Street (WRO PH 143/1117)

#### *Demolition and temporary buildings, 1939-1955*

2.2.51 The buildings on the north side of Market Place and Old Square (Fig 26) survived until 1945, but an illustrated newspaper article of that year describes them as "due for demolition at an early date" (WRO PH 143/70). Shortly afterwards all were demolished except Nos 8 Market Place (then the County ARP Stores), 10 Market Place (Abbotsford House) and No 16 Old Square (Dale Temperance Hotel and Coffee Tavern). A County Architect's drawing of 1946 confirms that by then a row of temporary offices ("existing office huts") stood on the site of the former Nos 2-14 Barrack Street, and shows proposed additional temporary offices between the 1932 building and No 8 Market Place. These were probably built in 1947 as the drawing is annotated as approved in January and February 1947 (WRO CR 2487/WBC 1724). It also shows a narrow strip of land on the north side of Market Place and Old Square dedicated to the Borough Council for street widening, and the outline of future permanent office buildings to be built when circumstances permitted. The temporary buildings (and the 1932 offices) appear on the 1952 Ordnance Survey 1:1250 map (Fig 25).

#### *New Council Chamber and offices, 1958*

2.2.52 In 1954 the Council was finally in a position to revive the idea of completing the proposals for a new Council Chamber and additional offices that had been abandoned with the onset of the War. New designs using a similar basic layout, but retaining 16 Old Square (the former Coffee Tavern) for use as offices, were prepared by G.R. Barnsley, who had become County Architect in 1953.

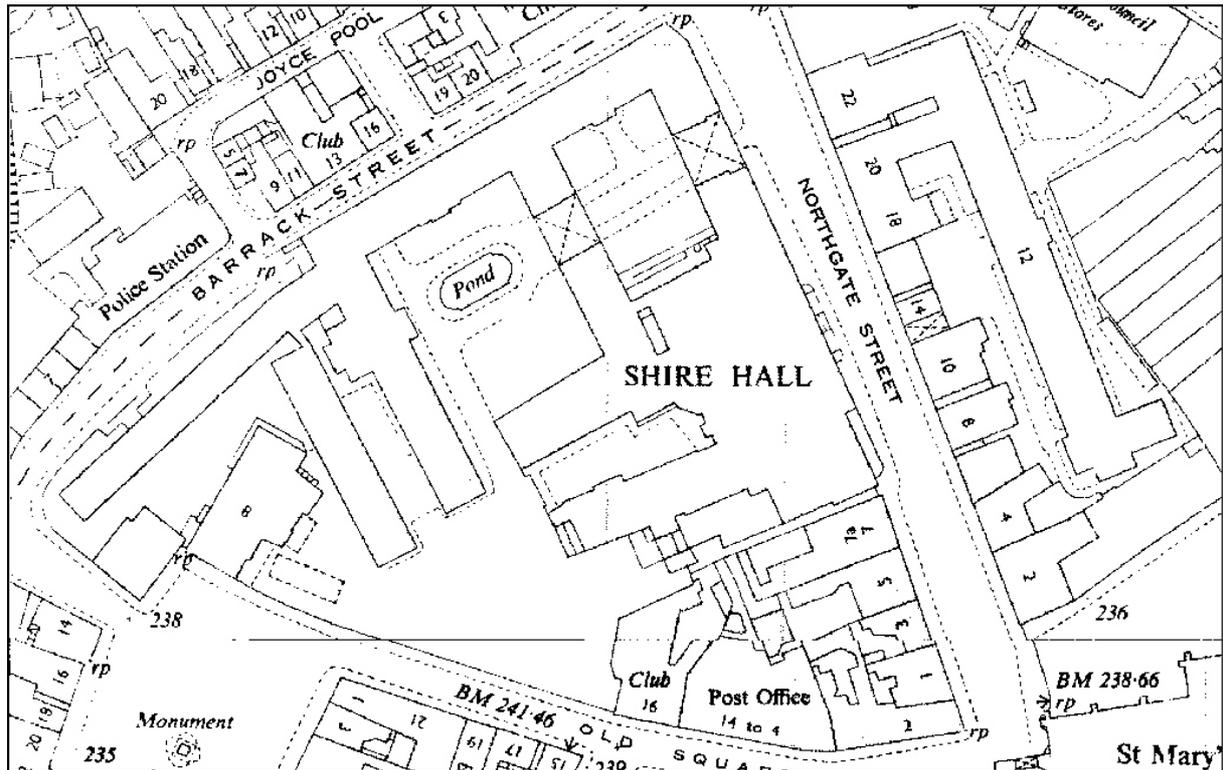


Fig 25: Detail from Ordnance Survey 1:1250 map of 1952

2.2.53 Construction started in 1955 and the first phase, consisting of the Council Chamber, its ante-chamber, and the offices fronting Old Square, was formally opened by HM The Queen Mother in November 1958 (WCC 1958). Subsequent phases were to include member's rooms and committee rooms adjoining the ante-chamber, a three-storey wing between the Old Square offices and Barrack Street, and a similar wing fronting Barrack Street, joining the 1932 offices at its eastern end. The Market Place frontage was to be set back from the street, with a pedestrian main entrance at the north-east corner of the square, and joined to Abbotsford House by a first-floor bridge corridor (Warwickshire Museum photograph A8792). This, however, was again not built as designed.

#### 1966 extensions

2.2.54 Construction of the final phase commenced in 1961 and was formally opened, again by HM The Queen Mother, in 1966. Although the 1958 and 1966 work is in a rather different style to that first proposed, it has always been viewed as the completion of the concept originally envisaged in the 1920s and 1930s, the commemorative booklet produced for the ceremony describing Her Majesty's visit as being to open "...the completed Shire Hall extensions 1932-1966".

2.2.55 This last phase saw the demolition of No 8 Market Place, which had survived until then as the County Licensing Office (Warwickshire Museum photograph F0601, dated 1960). The new accommodation was essentially that planned in 1954 but to an updated design by E. Davies, who had replaced Barnsley as County Architect after the latter's death in 1959. The committee and members' rooms on the south side of the inner quadrangle were joined to the 1958 ante-chamber, which was extended with a new grand staircase at the western end. The Barrack Street wing of the new



Fig 26: Market Place north side and Old Square, late 1930s; No 8 Market Place (World Stores) on left



Fig 27: Market Place north side and Old Square today

building includes a sub-basement which housed a new Warwickshire County Control Centre to replace the previous Civil Defence below the Museum Field Services premises (then the County Library Headquarters) in The Butts. It now houses the County Council Emergency Planning Section, and was upgraded and modernised in 1985 and the mid-1990s (Subterranea Britannica 2001). The new offices are joined to No 10 Market Place (Abbotsford) by a bridge at first and second floor levels.

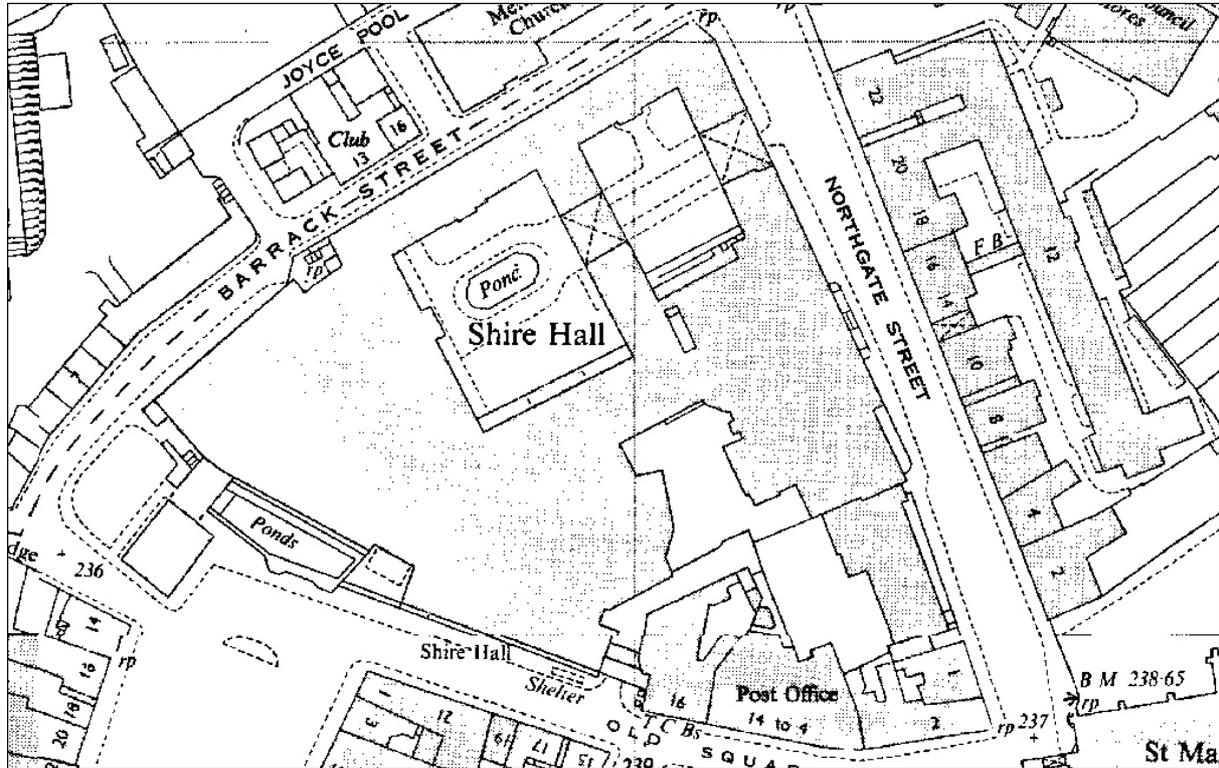


Fig 28: Detail from Ordnance Survey 1:1250 map of 1968-70

## 2.3 Area B, North-west of Barrack Street

### *Introduction*

2.3.1 This area lies partly within and partly across the medieval town defences, and is bounded by Barrack Street (formerly Wall Ditch or Walditch) on the south, Theatre Street (formerly the Holloway) on the west and Saltisford on the east. The modern traffic island to the north occupies what was formerly the apex of a triangular block of tenements (Fig 29).

2.3.2 The pattern of tenements and streets that developed here in the medieval and early post-medieval periods could still be traced until the mid-20th century. However, in the 1970s the area was completely redeveloped with the present offices, library, car park and traffic island, and nothing now survives of the historic townscape except for the remains of a short length of 19th-century wall that marks the eastern edge of the former sunken roadway, The Holloway. The historic tenements are identified by reference to their modern street numbers prior to demolition, where appropriate, or as Plot A, B etc where they cannot be conveniently related to later numbering. Ownership summaries (by Mark Booth) are given in Appendix B.

### *Medieval development along north side of Joyce Pool*

2.3.3 Outside the line of the town ditch was the street that became known as Joyce Pool, but was in fact an ancient street, called Dog Lane in the rentals of 1482 and later, connecting with the present day Theatre Street on the west, and continuing down what is now Chapel Street on the east. This street was lined with houses on its north side between Theatre Street and the Northgate in the Middle Ages. The area lying north of the houses on Dog Lane, bounded by the former Holloway on the west and Saltisford (North Rock) on the east, is not mentioned in the 1482 rental and was probably empty. That part within the town defences comprises a narrow strip of land on the north side of Barrack Street (at the time known as Walditch), which appears to have been totally unused waste ground in 1482.

2.3.4 At the west end of Dog Lane was a substantial property, later the site of the Stone House (Fig 29, plot C-E), which can be traced in the manorial rentals back to 1482 as two adjoining properties. In 1482 the main property is described as a messuage and two cottages belonging to the heirs of John Weston, situated on the north side of Dog Lane between the street called *Salteforde* (Saltisford) on the west, and the other as two cottages of the same heirs on the east side of the first. In the 1575 rental the site (now described as a messuage and two cottages) belonged to William Ives, and the main house on the site is presumably the 'mansion house' mentioned in his will of 1572, which mentions the hall and a 'further chamber' implying the existence of at least two chambers above the ground floor (WRO CR 1886/box 577/2). Ives also owned another cottage in Dog Lane, which was presumably one of the two adjoining cottages mentioned in the 1482 rental.

2.3.5 Further to the east there was occupation along most of Dog Lane. The tenement that became No 20 Joyce Pool can also be traced back to 1482, when it was one of a pair of cottages belonging to the heirs of John Weston. In about 1558 it was acquired by the churchwardens of St Nicholas Church, and remained part of the St Nicholas Church Estate until 1878 (WRO DR 87/1: churchwardens' accounts). The other cottage became part of the Stonehouse site (see above). Nos 12-18 appear in the 1482 rental, and seem to be a single holding until the 17th century. No 10 is in the 1482 rental as a cottage belonging to Kenilworth Abbey, and may have been the messuage in Warwick given by William de Daiville to Kenilworth Abbey in or around the 13th century. Plot B, between Nos 8 and 10, does not appear at all in the 1482 rental, but seems to be the barn and adjoining garden held by one Nicholas



Fig. 29: North-west of Barrack Street (Area B), historic tenements

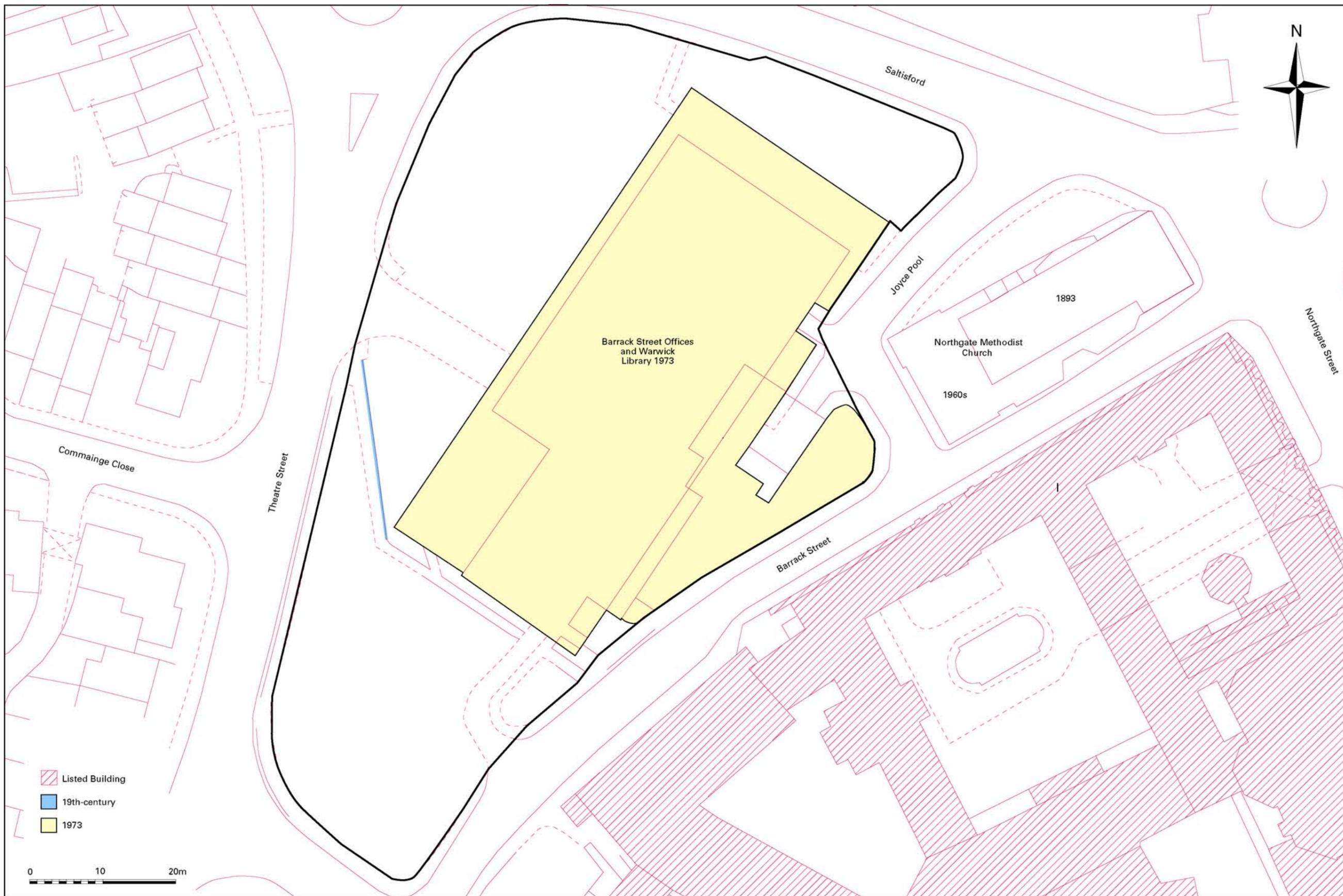


Fig 30: North-west of Barrack Street (Area B), standing building phases

Purslowe in the 1575 rental. The site of Nos 2-6 does not appear in the 1482 rental, but seems to be Lawrence Grey's tenement garden in Dog Lane, in the tenure of John Plummer in the 1575 rental. No evidence for Plot A, at the eastern end of Joyce Pool, from before 1783 was found during research carried out specifically for this Statement. It was a garden from at least the late 18th century and does not appear to have owned a chief rent or to have had common rights. It may always have been an open space, although Walls Grove (*pers comm*) identifies it as a dwelling occupied by Edmund Gregory in 1586 (and subsequently by others until it became a garden); it is possible this was just the north end, which map and deed plan evidence suggests was only incorporated in the garden from the early 19th-century (WRO QS 24/579/18; CR 26/1/2).

*Saltisford and Theatre Street/Holloway frontages developed from late 16th-century*

2.3.6 The area lying north of the houses on Dog Lane, bounded by the Holloway on the west and Saltisford (North Rock) on the east, is not mentioned in the 1482 rental and was probably empty (Fig 29, 1-31 Saltisford and plot F). However, in 1569 this whole area, described as a parcel of the lord's waste, was granted to Owen Marcliffe on a copyhold lease for 60 years. The grant is recorded in the 1585 rental, which states that Marcliffe had by then built a house on the site. This house was probably at the northern apex of the site adjoining the common well (where No 31 Saltisford stood in modern times), which in later years was the position of the biggest and most important house on this whole site. Marcliffe died in 1588, leaving his dwelling house to his wife and then to his son, and two other houses (which may also have been on this site) to his daughters (WRO, Z 589/187).

2.3.7 A detailed history of individual properties in this area is not possible until the 18th century because there is no detailed information on land ownership and occupation at that period. As the Great Fire of 1694 did not affect it at all there are no fire records. It seems that development of the site was gradual, probably spreading south east up Saltisford from the northern apex.

2.3.8 By 1615 the site was in the tenure of Richard Tandy "and divers others", and contained 9 bays of buildings. Tandy is given as the copyholder in the 1619 rental, at which time the site contained six cottages. In 1630 the site was leased to Oliver Brookes, who immediately sub-let it to Henry Goodcheape (WRO CR 1886/6993, 6995). Henry Goodcheape's "ground, orchard or garden place" is mentioned in the 1635 agreement for walling of the garden of the Stone House in Joyce Pool (WRO CR 2981), indicating that his house stood on the site of No 31 and that the area behind it and next to the Holloway was then open ground.

2.3.9 By 1707 the site had been divided between four copyholders. The person paying the biggest chief rent was John Parry, who presumably held the house at the northern apex and the cottages on its north east side up North Rock (probably Nos 13 to 29 Saltisford). Charles Goodcheape (possibly a son of Henry) may have held the garden south and west of these properties, on which two cottages stood at some period before 1776 (WRO CR 3065: 1798 deed). The remaining copyholders (Thomas Hoggins and Robert Bromley) may have held the land that was to become the site of Nos 1 to 11 Saltisford, which may not have been developed until they obtained possession, perhaps in the late 17th century.

*Line of town ditch and waste between Barrack Street and Joyce Pool developed, late 16th century to early 17th-century*

2.3.10 Dog Lane was apparently still a through road until the late 16th or early 17th century, as the 1575 rental does not mention the existence of the Holloway (which was to cut Dog Lane off from Theatre Street in order to provide a more convenient access to the market place from the north). It was certainly in existence by 1633, and

probably as early as 1611 when “the hollow highway” in Saltisford Ward is mentioned (Stone House documents in WRO CR 2981; court leet papers, WRO CR 1618/W11/2). The Holloway does not appear to be shown on Speed’s map of 1610, but Hollar’s of 1645 is no different and it is likely that the style of cartography would simply not depict it accurately. Barrack Street was previously known as Wall Ditch or Walditch.

2.3.11 It is at this same period that the name Joyce Pool first occurs in the records, referring to a pool of water lying between the houses on the north side of Dog Lane and Barrack St (court leet papers for 1611: CR 1618/W11/1). It is possible that the Pool was connected with the excavation of the Holloway, as they both appear in the records around the same time, but perhaps more likely that it was a remnant of the town ditch that had become or remained water-filled. At the same time the development of the open space between Barrack Street and Joyce Pool along the line of the former defences was proceeding, and ended in the complete transformation of this area. By the early 18th century it seems that the town ditch had been filled in and buildings had infilled most of the area between Barrack Street and Joyce Pool, as is clearly illustrated by comparing Speed’s map of 1610 with Fish and Bridgeman’s map of 1711. This process is difficult to document in detail because (unlike the houses in Dog Lane) the new houses on the former waste did not enjoy common rights.

2.3.12 The area (later 1-7 Barrack Street) between the Holloway and the lane that led to the Stone House in Joyce Pool appears to have been waste ground of the manor in the Middle Ages. It was first granted as copyhold to Richard Fisher in 1585, but was leased to one William Wall. At this period, and into the early 17th century, the property is described as waste ground with a barn standing on it.

2.3.13 To the east was a plot lying (Fig 29, plot G) between Joyce Pool to the north, Barrack St to the south, a lane leading to the Stone House in Joyce Pool on the west and another lane between Joyce Pool and Barrack Street to the east; its situation surrounded on all sides by streets led to the later building on it being called Roundabout House. The first grant was of a piece of waste ground to Nicholas Edmonds some time before 1615. The 1619 rental mentions a barn on the site. In 1630 the property was granted to Richard Hadley (1707 rental), and he was still holding it in 1641.

2.3.14 Nos 9-16 Barrack Street and 5-7 Joyce Pool appear to have been part of a piece of waste ground granted to Francis Atterbury in 1594 (1615 inquisition) and still held by him in 1619, but passing to Edward Atterbury by 1641 when it is described in the rental as ‘waste and buildings’. At the easternmost end of Barrack Street, the site of Nos 17-20 and the Methodist Church (plot H) was waste ground until a copyhold grant of land measuring 200 feet by 60 feet lying by the Joyce Pool was made to William Sharley or Shardley in 1604. In 1615 this land (described as newly enclosed) had a four bay house erected upon it. William Sharley was paying 4d. chief rent for this in 1619, in a deed of 1630 mentioning a newly erected messuage (WRO CR 1886/8253) and again in 1641.

#### *Construction of the Stone House in Joyce Pool / the Holloway, c.1633*

2.3.15 An agreement of 1633 describes the building of a new stone house on Plot C-E Joyce Pool. The new house adjoined an existing house and stretched as far as the Holloway. It was built of stone, and consisted of cellars and kitchen, a ground floor with a hall, study and parlour, chambers above and cocklofts over the chamber floor. The main rooms were lit by five or six light stone transomed windows and had fireplaces. It also had a projecting porch, partly built upon waste land of the manor, which had been obtained in 1636. This waste land was almost certainly the disused continuation of Dog Lane, now cut off by the Holloway (Fig 31).

2.3.16 The house passed through various ownerships, and in 1753 it was bought by William Madew of Warwick, yeoman, at which time it was empty. Madew and his family lived in the house until it was sold by his son-in-law to Francis Hiorn, the Warwick architect, in 1775. He demolished the house, but retained the land as a garden.

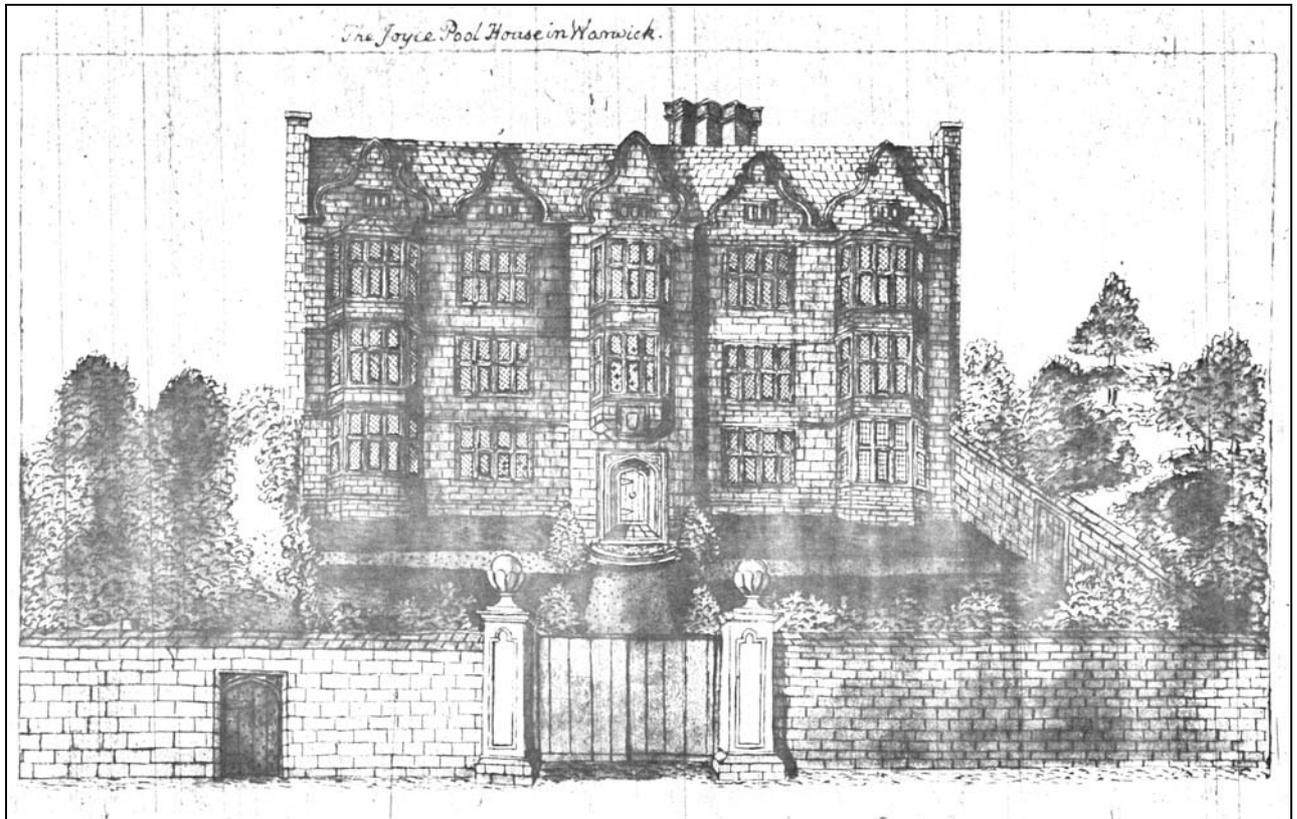


Fig 31: The Stone House, elevation to Joyce Pool (from Ward 1830, 78)

*Development on the Holloway, mid-late 17th century*

2.3.17 There was one property on the west side of the Holloway, later known as No 1 West Rock. The 1711 map of Warwick by Fish and Bridgman appears to show a row of buildings down this side of the Holloway, but if these had ever existed they had certainly disappeared by 1788, not being shown on Baker's map of that date, and the only building for which there is documentary evidence is No 1.

2.3.18 This first appears in a copyhold lease of 1694 to Thomas Farr of Warwick, mason (WRO CR 1886/8846). The land already had a cottage standing on it, but it does not appear to be mentioned in the 1641 rental and presumably dates from the later 17th century. In 1752 the cottage and piece of land was granted to Henry Adkins, a tailor, on a copyhold lease for 21 years, and it passed down in the family through Joseph and his son John Adkins (the latter also being a tailor) until the 1860s, and was then occupied by a succession of tradespeople and small shopkeepers. It appears to have been empty after 1953 (Spennell's Directories), and was demolished in 1956 (WRO PH 1035/C2166-8 and 620/13-15; Fig 32).

*The Great Fire of Warwick, 1694, and rebuilding after the fire*

2.3.19 Barrack Street and Joyce Pool were badly affected by the Great Fire of 1694. Only the Stone House and Nos 20 and 18 at the western end of Joyce Pool, and the properties to the west of plot G on Barrack Street (by then a two-bay house with hog sties) escaped destruction. The properties north of Joyce Pool on Saltisford and the Holloway also escaped.



Fig 32: The Holloway, 1956, with No 1 West Rock during demolition (WRO PH 620/14)

2.3.20 Rebuilding after the Fire was thorough, and may have removed the last vestiges of the Pool, the town ditch and any remaining open ground to the south (though one document refers to the Pool as late as 1711: WRO CR 1453/bdle 631). Some plots changed hands before rebuilding took place and there appears to have been some rearrangement of holdings, for example 9-16 Barrack Street and 5-7 Joyce Pool, where it is difficult to relate the pre- and post-Fire landownership pattern in detail. Some plots were still vacant several years after the Fire. Plot G, the site of the future Roundabout House, was still described as waste in 1707. When a house was erected adjoining the Stone House on Joyce Pool at the back of the plot, and the site sold in 1716, the site of the pre-Fire buildings was still empty (WRO CR 3065).

*The Bridewell (House of Correction), 1780s-1860s; town police station from 1881*

2.3.21 As described above, Francis Hiorn had retained the site of the Stone House (plots C-E) as a garden after he bought and demolished the house in 1775. In 1783 the County was looking for land on which to build a new House of Correction, and Hiorn offered it the site of the Stone House. The County paid for the site in 1783 (though Hiorn retained the northern part of its garden, which was added to a piece of garden ground north of the curtilage), but no deed was made until 1800, when the land was formerly conveyed to the County by Hiorn's devisee (WRO CR 3065). The County also purchased, again in 1783, the Roundabout House on Barrack Street for the same purpose. The building was demolished and much of the site excavated for stone to build the Bridewell, although most of it was not built upon until the Bridewell was extended out to the line of Barrack Street in the 1820s. Baker's map of 1788 shows the site of the Stone House to be empty, but has Roundabout House still standing on Bridewell Lane/Barrack Street (Fig 33).

2.3.22 In 1798 Hiorn's devisee sold the part of the garden that he had kept in 1783 to the County for an extension to the Bridewell. In 1825 the County purchased the site later known as 7 Barrack Street, at which time it was described as 'a parcel of land... upon which formerly stood eight messuages then recently demolished for the purpose of enlarging the House of Correction' (SBT ER 3/2590). The new buildings for the Bridewell were built between 1824 and 1827 (QS 24/65), and also extended on to the site of the former Roundabout House that had been vacant since the Bridewell was first built.

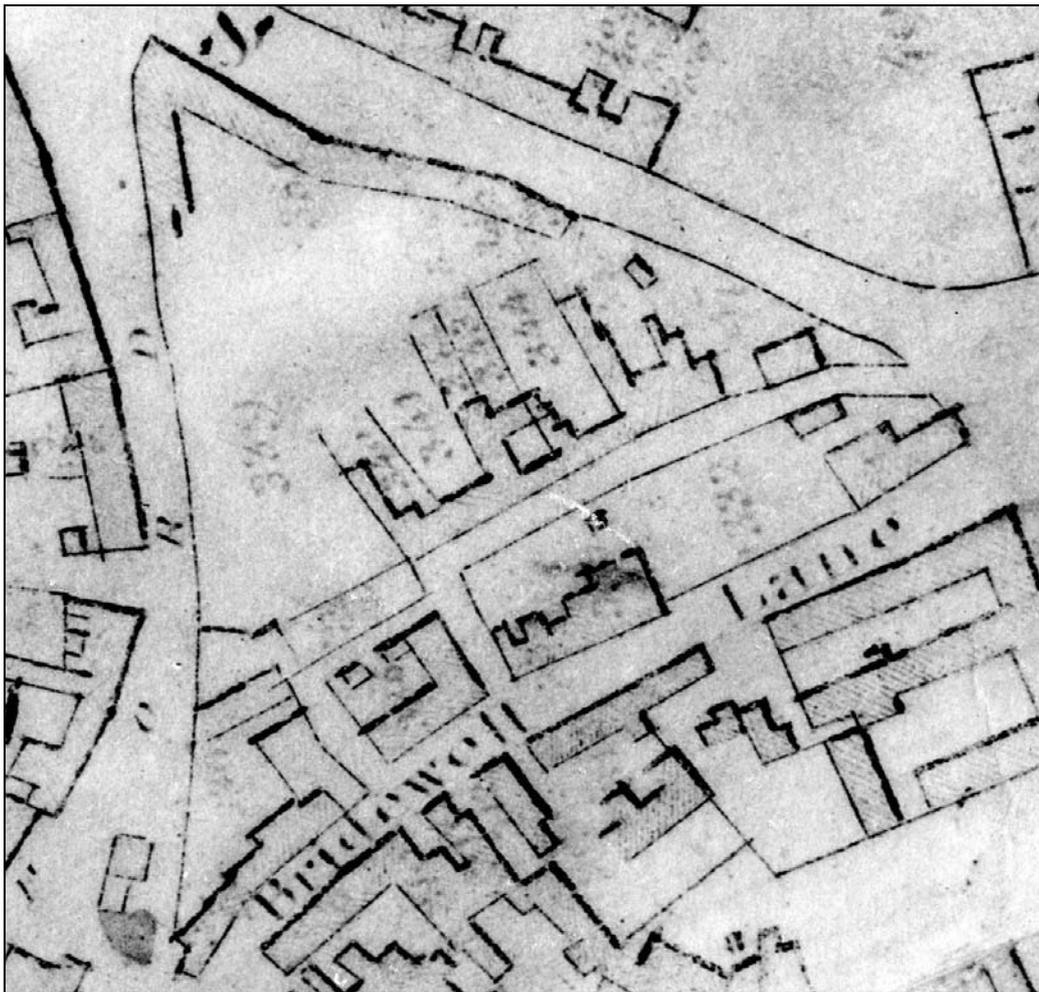


Fig 33: Detail from Baker's map of 1788

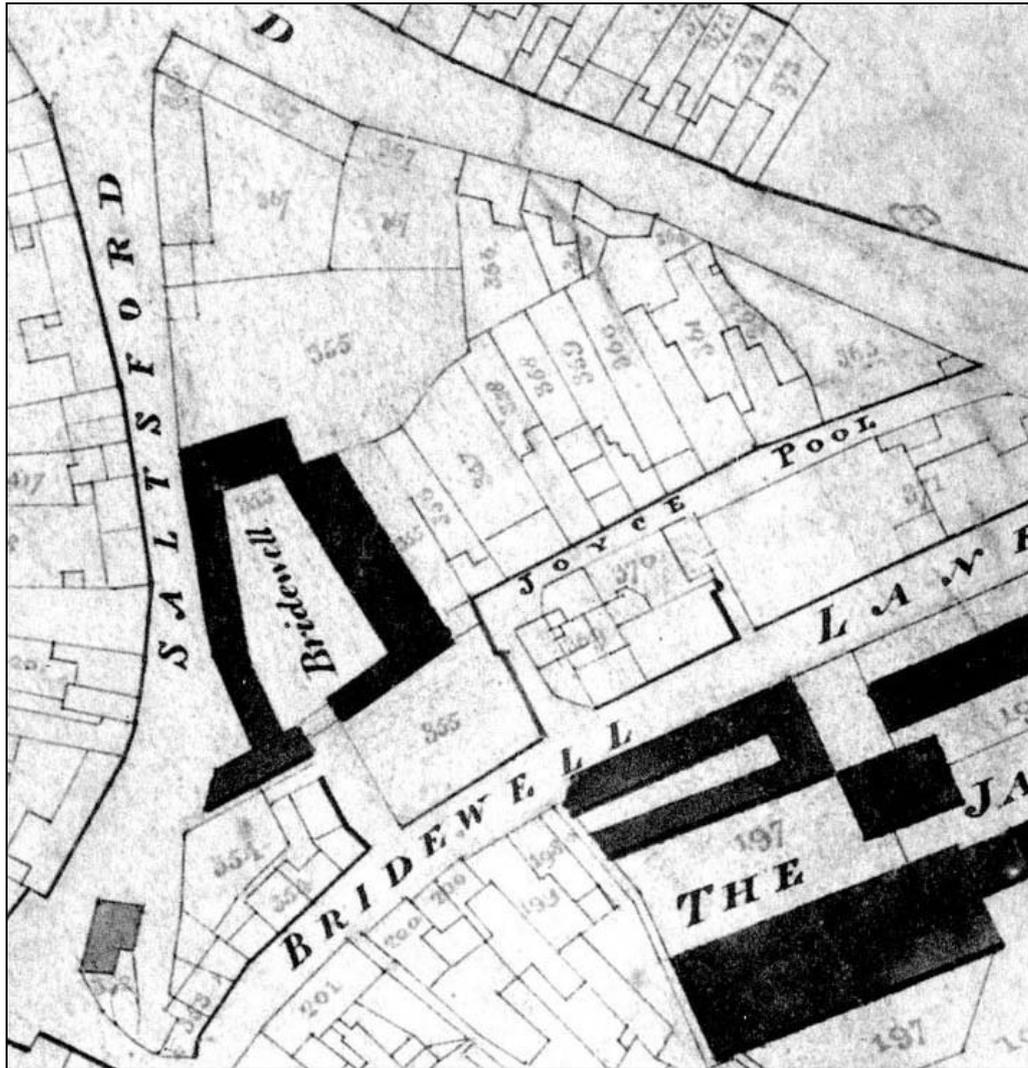


Fig 34: Detail from James' map of 1806

2.3.23 The original Bridewell is shown on James' map of 1806 (Fig 34). The extensions to the north and south are included on the Board of Health map of 1851 (Fig 35). The Bridewell was itself superseded by the new gaol on Cape Road built in the 1860s, although it was still recorded on the Commoners Roll in 1871. Most of the buildings were demolished and those on Barrack Street were converted into the town Police Station in 1881 (WRO QS 43/5, minutes for June 1881; Figs 36-38).

2.3.24 Not strictly part of the Bridewell, but associated with it, was a coach house and stables between Nos 8 and 10 Joyce Pool. This had previously been occupied by a house (built after the Fire) which by 1755 was owned by a charity founded by a Mr Lea, a baker, to provide aid for poor prisoners in the county gaol (Commoners Roll and Charity Commission Reports, 822). The house was rented out to provide income, but fell into disrepair in the late 18th century and was taken down some time before 1804. A coach house was built on the site to house the 'caravan' used to convey prisoners from the gaol, and a straw barn for the use of the gaol. After the building of the new gaol in 1860s these buildings were no longer needed and in 1879 they were sold to George Hall of Warwick, who erected additional stables, loose boxes and buildings. His mortgagee sold them to Robert Spennell, the Warwick printer, in 1885.

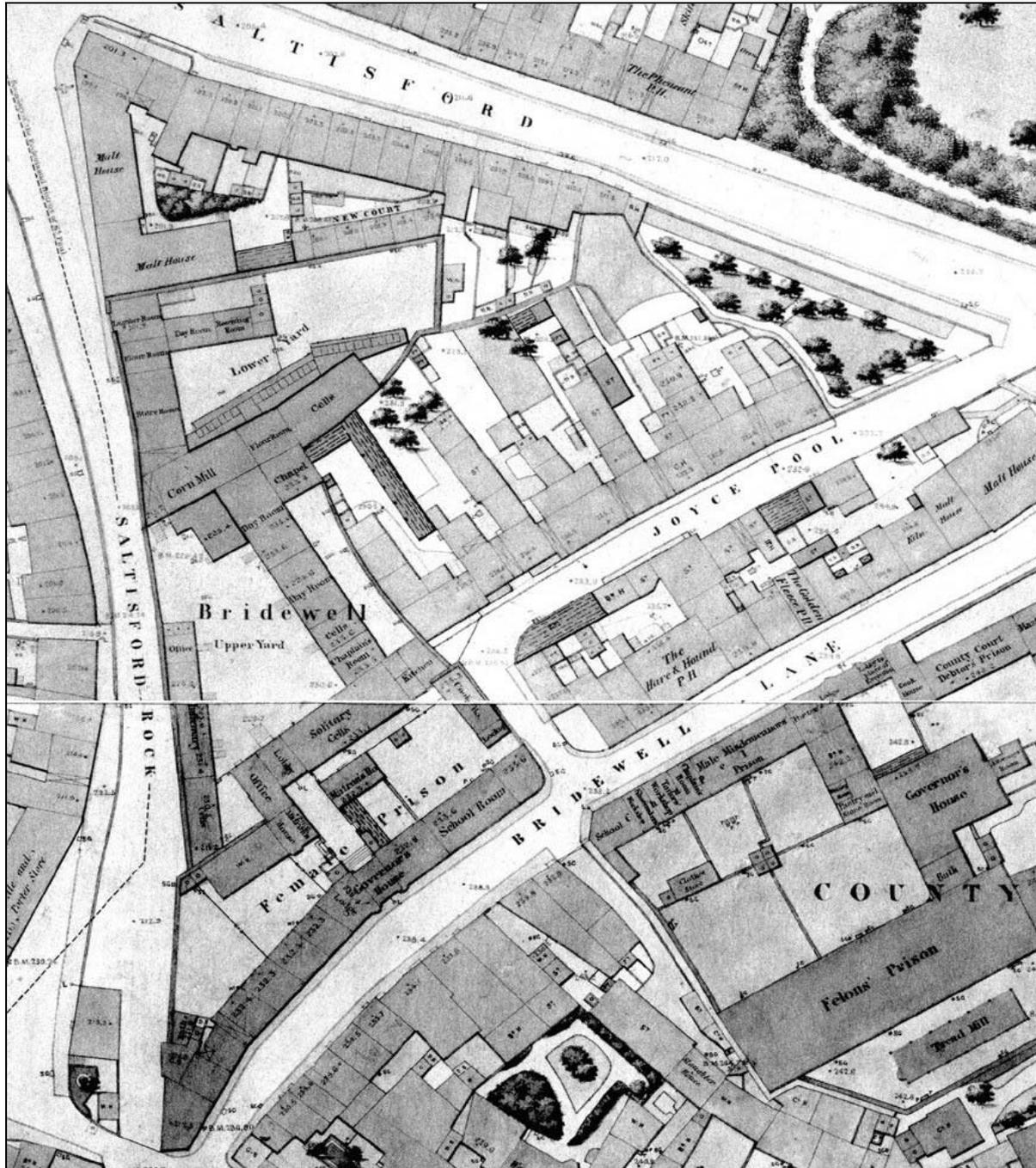


Fig 35: Detail from Board of Health map of 1851

*Methodist Church, 1893*

2.3.25 This was constructed at the eastern end of Barrack Street and Joyce Pool in 1893 to replace chapels in Market Street and Bowling Green Street, and with later extensions is still in use today. It is not within County Council ownership and is the only pre-1970s building surviving in the Barrack Street/Theatre Street/Saltisford triangle.

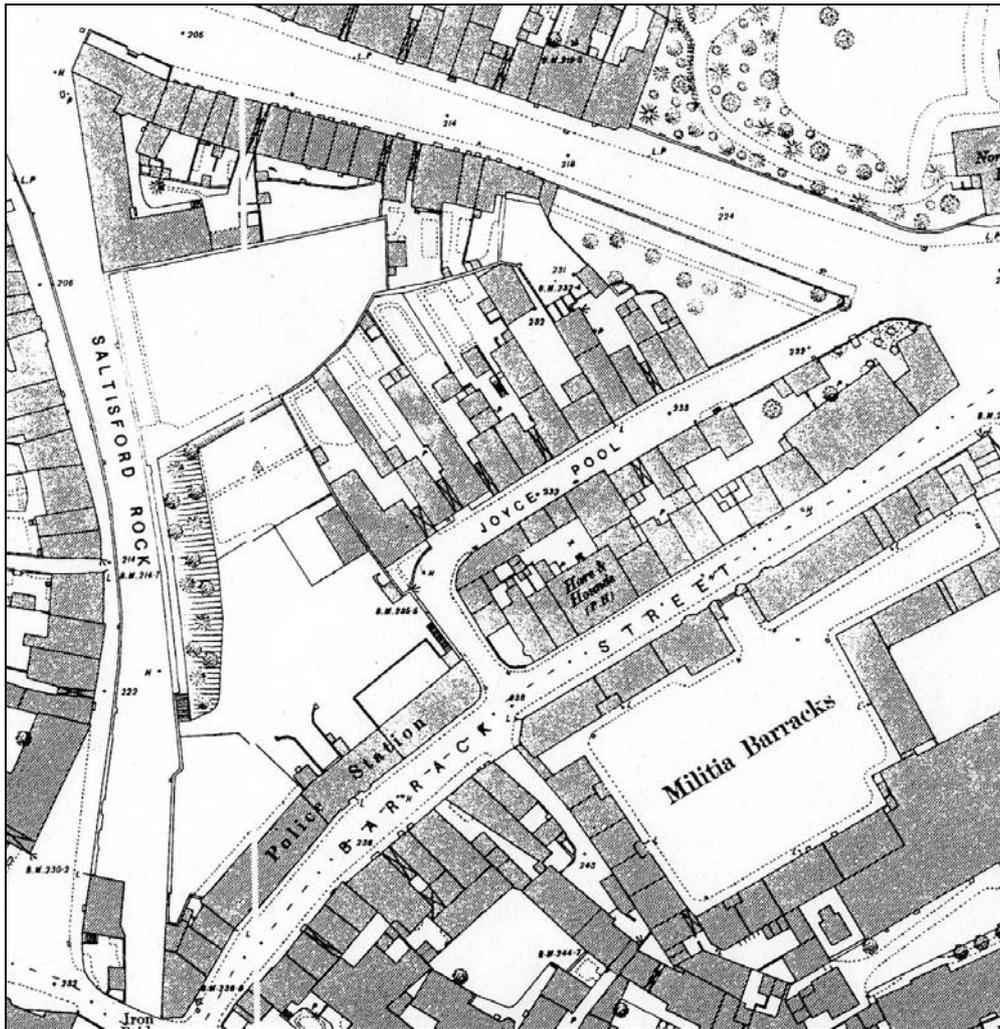


Fig 36: Detail from Ordnance Survey 1:500 map of 1887



Fig 37: Barrack Street police station, 1962 (WRO PH 143/50)

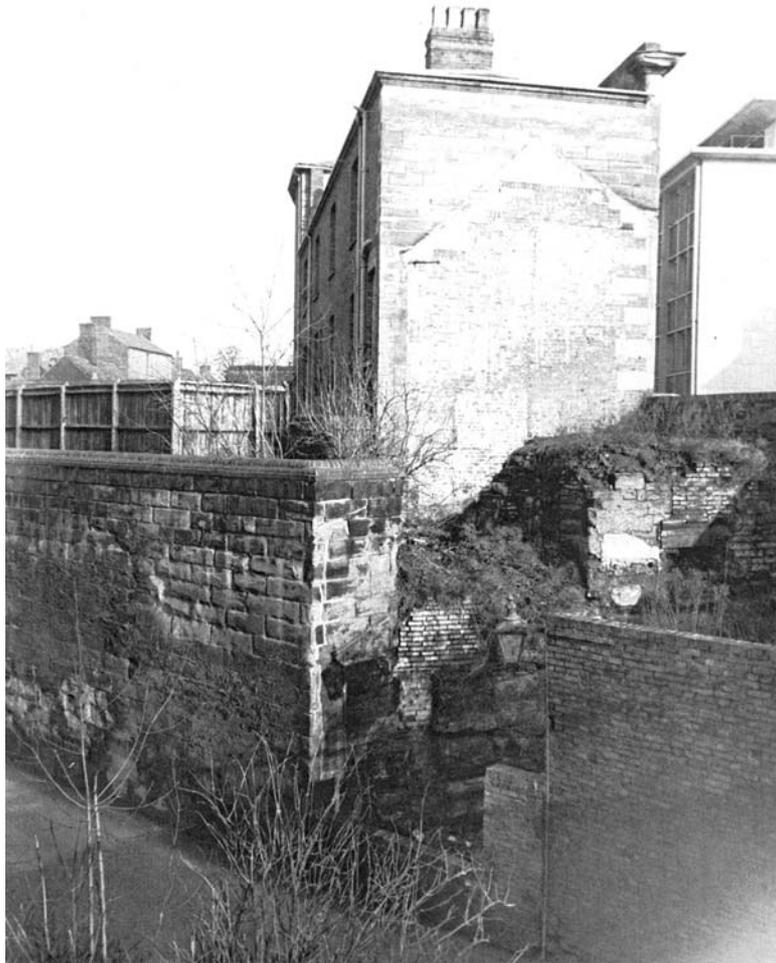


Fig 38: Barrack Street police station side/rear, c.1970; The Holloway in foreground (WRO PH 143/616)

*County Council store and car park, Joyce Pool / Saltisford, 1920s*

2.3.26 In 1913 the coach house and stabling between Nos 8 and 10 Joyce Pool were leased by the County Education Committee for use as store rooms, and in 1914 the County bought them outright. In 1921 Nos 2-8 Joyce Pool and the garden to their east were bought by the County Council. The cottages were demolished by September 1921, and the land used for a car park. Nos 17 and 18 Barrack Street were acquired in 1931 and demolished to provide a new access road to the car park (Fig 39). By the 1950s the coach house and stables had also been demolished, and the site was used as a council depot (Fig 40).

2.3.27 The only other Council acquisition prior to the 1960s was that of Nos 9 Barrack Street and 5-7 Joyce Pool in 1935, and No 11 Barrack Street in 1955. These were demolished in 1955 in order to construct a storage building in connection with the conversion of the Shire Hall heating plant to oil firing.

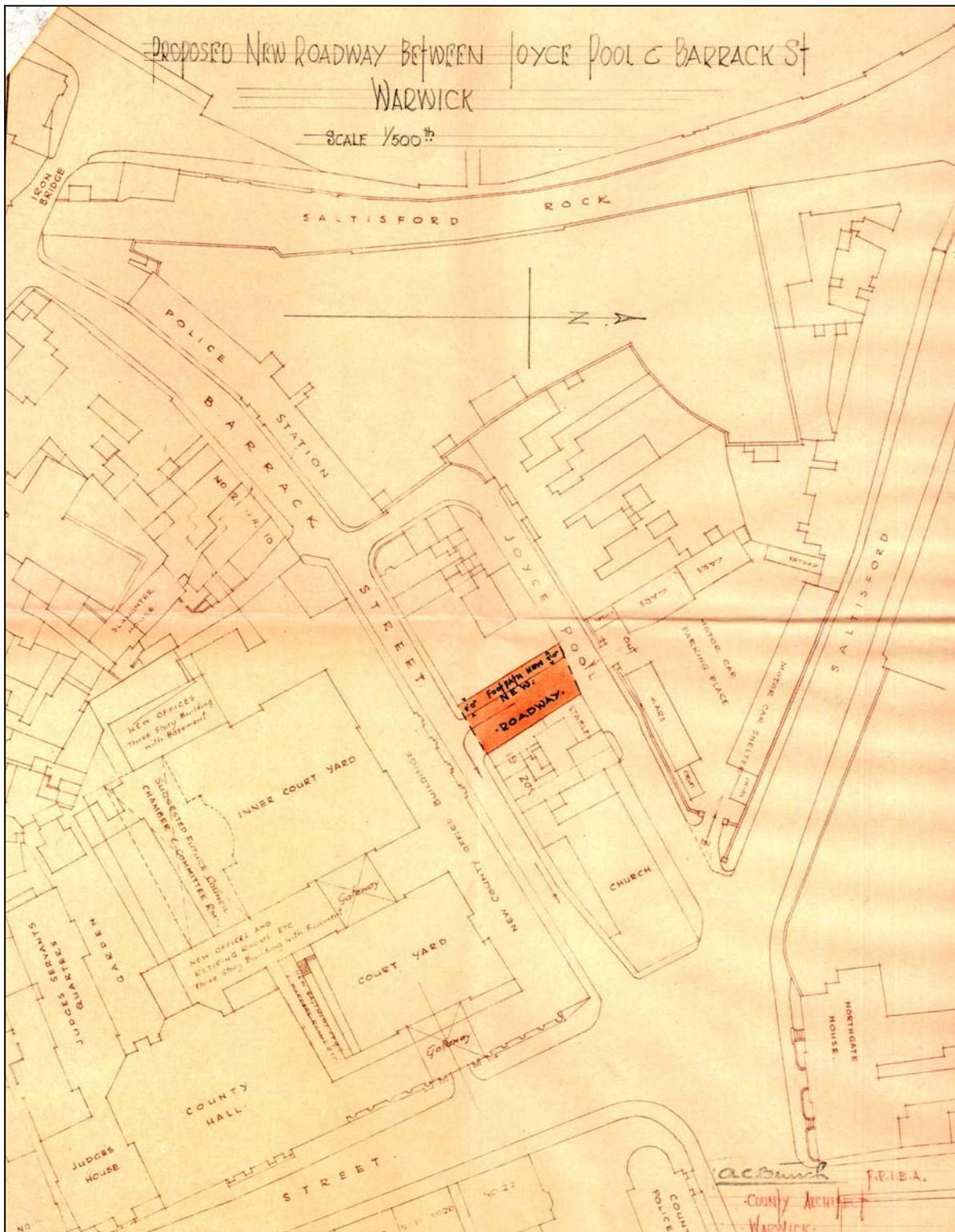


Fig 39: County Architect's plan of 1932 showing new road on the site of Nos 17 and 18 Barrack Street; also shows the 1920s car park at the east end of Joyce Pool / Saltisford (WRO CR 2487 / WBC 835)

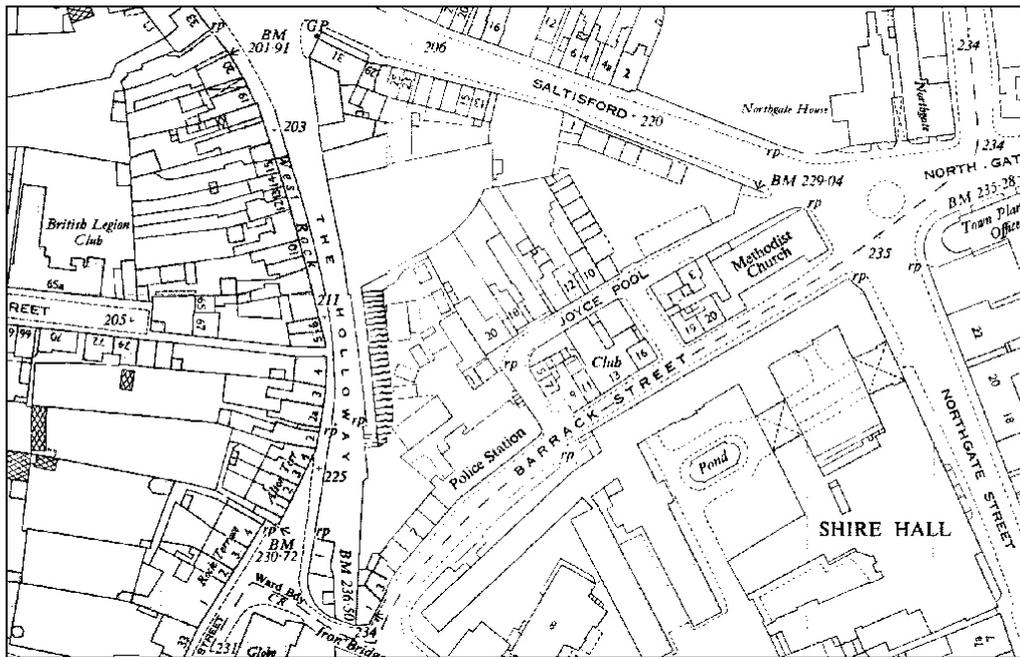


Fig 40: Detail from Ordnance Survey 1:1250 map of 1952



Fig 41: 20 Joyce Pool and the side entrance to the former Bridewell (left) c.1966 (WRO PH 143/625)

*Complete redevelopment, 1970s-1986*

2.3.28 In the 1960s and early 1970s the Council acquired all the remaining property in the area (except for the Methodist Church) and embarked on a complete redevelopment to provide additional office space and car parking, along with the present alignment of Theatre Street and the roundabout at its junction with Saltisford. The new building was opened in 1973, although the Holloway did not finally disappear until the winter of 1985/6 when the last section was infilled (Figs 42-45).



Fig 42: Area B, approach from Saltisford looking south, 20th century (1948?)  
(WRO PH 143/1114)



Fig 43: Area B, approach from Saltisford looking south, present day, from the same viewpoint



Fig 44: The Holloway during initial blocking to traffic, 1974, from the former Iron Bridge (WRO PH 1035/1903)



Fig 45: Line of the former Holloway, present day, from a similar viewpoint

## **2.4 Area C, East of Northgate Street, Northgate and The Butts**

### *Introduction*

2.4.1 Area C covers the properties on the east side of Northgate Street formerly occupied by the Education Department, the Court Offices on Northgate and the Warwickshire Museum Store at the north-west end of The Butts. Ownership of the various properties is traced in Appendix B. The properties are identified by reference to the modern numbering, which in the case of Nos 8-12 Northgate Street has varied over the years. No 8 originally appears to have been part of No 6, and only had a short existence in the second quarter of the 19th century. It appears in the 1871 census as empty, and is difficult to identify in the previous census. There is no trace of a No 8 in the Spennells Directories from 1883, apart from a brief appearance of a No 8A in 1905 and 1908, until a County Council renumbering in the mid 1920s. No 10 then became No 8, the front part of No 12 became No 10 and the rear part, the County Finance Office, retained the number 12.

### *Medieval and post-medieval development up to the Great Fire of 1694*

2.4.2 Northgate Street, known as Sheep Street in the 18th century, also probably lies within the Anglo-Saxon town established by Ethelfleda in 914, and is one of the main ancient streets of the medieval town. Its boundaries were defined by the position of the town walls and gate at the north, and St Mary's Church at the south (Fig 46). The street must always have been one of the most important and prestigious in the town, though only one stone house on the east side is noted in the medieval records: the 'stone hall' of the Woodlowe family close to the North Gate itself, which can be traced back to the early 15th century.

2.4.3 Until the decay and abandonment of the town defences in the 16th century the properties on the east side of Northgate Street had only one means of access, from the street itself. Behind the houses at the extreme northern end was the town ditch and the other houses backed onto waste land of the manor of Warwick and St Mary's Butts. After the decay of the defences, and certainly by 1561, the ditch had been filled in and replaced (apparently on the same line) by a lane linking the top of the Saltisford with St Mary's Butts (SBT DR 37/2758).

2.4.4 The tenements and property divisions existing before acquisition by the County Council and its predecessors can be traced back to the 15th century. The most significant was probably the present Nos 18 and 20 Northgate Street, for many centuries a single property called the Stone Hall or (from c.1561) Stone House. This is possibly the Woodlowe messuage in Warwick mentioned in a deed of 1320 (WRO CR 26/1 (2) W5), and can be traced with certainty back to a deed of 1409, when it was called "Stonhalle" and in the possession of John Woodlowe, lord of the manor of Woodlowe just north of Warwick. The Hall is mentioned in the St Mary's College rental of 1424 as belonging to John Woodlowe, and owing a chief rent to the college.

2.4.5 After the Dissolution of the College the Stone House was sold, and by 1622 was in the possession of Katherine King, a widow. She was still the owner in 1641, but in 1662 it was apparently in the possession of Richard Hadley, who paid for six hearths in the Hearth Tax returns between 1662 and 1674. In 1694 he is recorded as the owner of the Stone House, now an inn called Green Dragon, of which he was the innholder. It had a seven bay front range and 18 bays of back buildings, and also contained a prison house and a stable. It is possible that this is the unidentified building owned by Katherine King that was used by the County as a House of Correction between 1631 and 1637 (WRO QS, vol I), although the new County gaol and house of correction on the west side of Northgate Street had been completed in 1683 after which the 'prison house' at the Green Dragon would presumably no longer be in use.



Fig 46: East of Northgate Street, Northgate and The Butts (Area C), historic tenements

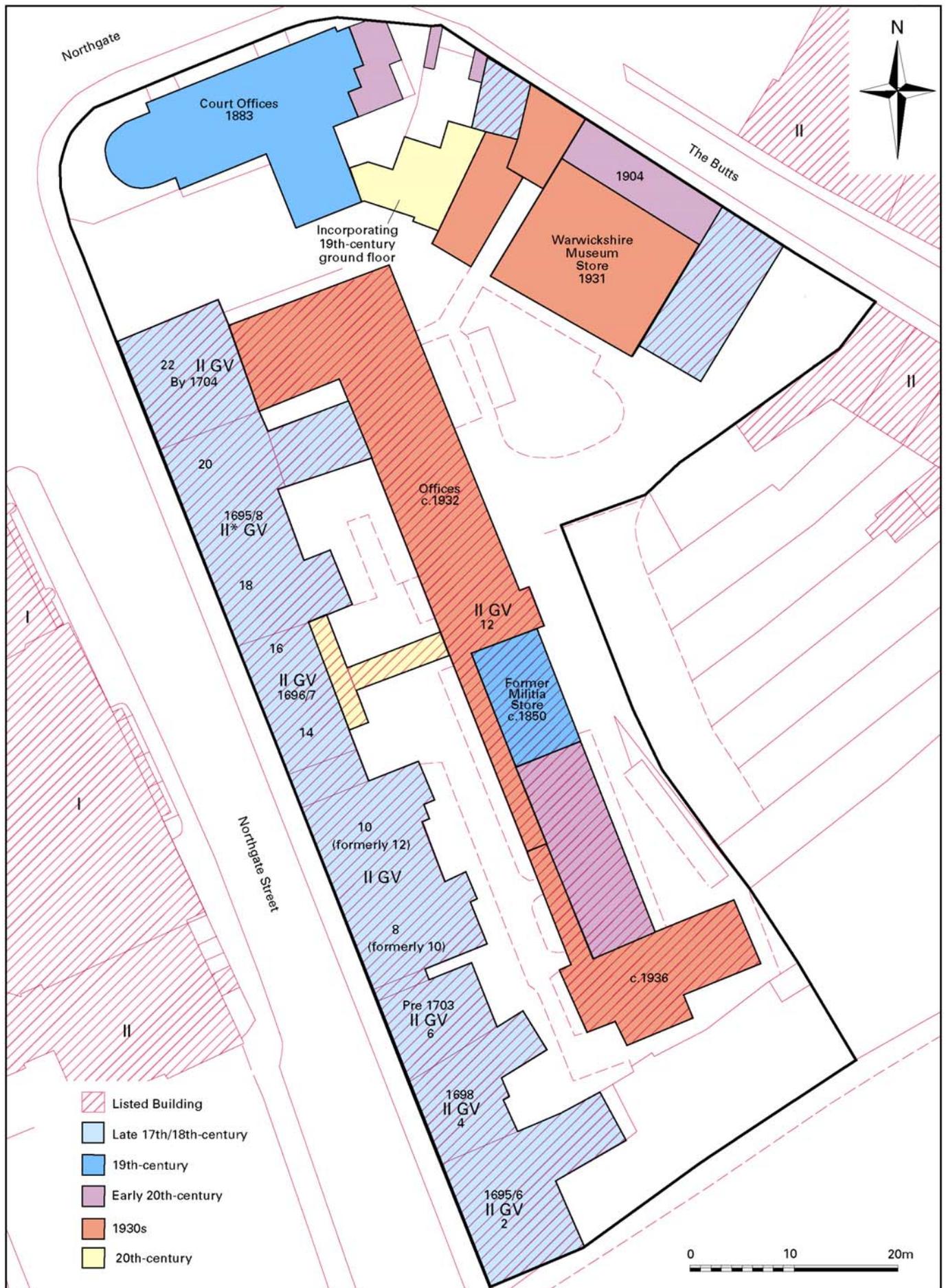


Fig 47: East of Northgate Street, Northgate and The Butts (Area C), standing building phases

2.4.6 The most complex holding was the present No 22. This can be traced back to 1447, when it was described as four cottages on the north side of the Stone Hall. From this point at least it followed the same succession of ownership as the Stone Hall or House until some time between 1585 and 1622, and is consistently described as four tenements up to 1585. By 1694 it seems from the Fire Records that there were two, or possibly three, houses on this site, all belonging to Mrs Cawthorne, but that one or more of them was in multiple occupation.

2.4.7 The Fire Records also state that Mrs Cawthorne owned two cottages, one of one bay the other of three bays, in The Butts (Farr 1992, 140, 241). These appear from their position within the survey and estimates to have been at the north end of The Butts, and may have been on the rear garden of No 22.

2.4.8 At the time of the Fire, the tenements were occupied by a range of persons from tradesmen to lawyers, which can be summarised as follows:

Modern number	Occupier or owner	Comment
2	Prescott (owner) J Rainsford (occupier, attorney)	
4	T Wise (owner/occupier, attorney)	
6	J Watts (owner)	Originally one tenement with 8-10.
8-10	J Watts (owner) S Parsons (occupier, innkeeper)	An inn called The Crown.
14	E Webb (owner) T Rush (occupier)	
16	E Webb (owner) J Butler (occupier, carpenter)	
18-20	R. Hadley (owner/occupier, innkeeper)	An inn called the Green Dragon
22	E. Cawthorne (owner/occupier) Occupiers include: R Harris (town sergeant), G Manning (tailor), M Taylor (baker)	Two or more houses, at least one in multiple occupation

#### *Rebuilding after the Fire of 1694*

2.4.9 The Great Fire of 1694 resulted in the destruction of every house on this side of Northgate Street, and (as with Church Street and other places in the town) the opportunity was taken to widen and straighten the street. This seems to have affected only the three houses at the north end, which are definitely recorded as having minor quantities of land removed from their former street frontages. The most detailed information is given for the end house, No 22, where an area 38 feet long by 4 feet wide was taken into the street: Nos 20 & 18 (with a frontage of about 60 feet) lost 273 square feet and Nos 16 & 14 lost only 85 square feet, indicating that the amount required was diminishing towards the southern end of the street (Farr 1992, 502, 489, 499). The rebuilding of the houses was carried out by individual owners starting shortly after the fire, and was completed within a few years. Some of the plots changed hands before rebuilding took place. The strict provisions of the Act of Parliament governing the rebuilding had to be followed, but in 1696 Richard Hadley, the owner of Nos 18-20 (the Green Dragon), was given permission by the Fire Court to build his new house with a 'break' or projection in the front (Farr 1992, 57, 59).

2.4.10 Most of the destroyed houses were replaced, but those at the north end of the street (now No 22) were replaced by a single house. It seems that Mrs Cawthorne originally intended to rebuild the houses but never began this task (Farr 1992, 27). In November 1702 she and Richard Cawthorne sold the plot to Francis Smith, the Warwick architect/builder. He had built the existing house by September 1704, but left the northern portion of the site empty, and in November 1704 the Fire Court decreed that the empty plot should be given to James Mitchener, on condition that he rebuild it within four years (Farr 1992, 108, 109). This decree never seems to have taken effect, as the plot was never built upon except for a small extension to No 22, and remains part of its garden.

2.4.11 The houses continued to be occupied by a range of people as before the Fire. Typical occupancy in the early 18th century is illustrated by the following examples:

Modern Number	Date	Occupier	Comment
2	1735	T Hewitt (doctor)	Lease for 21 years
4	1712	Widow Mosse	
6	to 1719 1719	H Smith (butcher) J Rainsford (attorney)	Formerly of No 2
8-10	1719	G Whadcock (innkeeper)	
14	1719	T. Gardner (unknown)	
16	1755	Widow Watts	
18-20	pre-1747	Sir Thomas Delves	Leased as private house
22	to 1738	Francis Smith (builder)	

*Extension of No 22 into former waste ground, 1743*

2.4.12 In 1743 William Smith (Francis' son) added to the property by buying from the Earl of Warwick a piece of waste ground of the manor of Warwick measuring 50 yards long by 11 yards wide, immediately to the north of his garden (the site of the corner house burnt in 1694 and never rebuilt). This ground was incorporated into the garden and surrounded by a wall (see deed of 1753).

2.4.13 The history of this waste ground can be traced back to 1447, as the deed of that date for the Stone House and the four cottages on its north side (Nos 18 to 22 Northgate Street) states that they adjoined the town ditch on the north and east, suggesting that at this date there was no intra-mural road here, and that the ditch lay directly north of the cottages. By 1561 the picture had changed radically: the same property now adjoined 'a parcel of ground usually called the North Gate' on the north, and the top end of The Butts on the east: in both cases these abutments were presumably the site of the town ditch. The next piece of evidence is a lease of 1680, when part of this same piece of waste was leased to William Cawthorne of Warwick, vintner, by William Bolton (then lord of the manor of Warwick). It is described as a piece of land measuring 70 feet from east to west and 40 feet in breadth, lying 'over against Northgate'. It was therefore about half the size of the land sold to William Smith in 1743, and most likely (given its orientation) ran from Northgate St eastwards, adjoining the 'corner house' of 1666.

*Sub-division of Nos 18 and 20, c.1776*

2.4.14 Ownership generally had little effect on the property divisions until the 19th century. An exception is Nos 18-20, before the fire an inn called the Green Dragon and rebuilt after the Fire by its owner Richard Hadley. He is mentioned as its occupier in the 1698 Commoners' Roll, but later on it appears to have been rented out as a private house. In 1762 it was sold to Robert Avery (the owner of Nos 10 & 12 Northgate Street), who appears to have leased it to Charles Petit and then to Francis Barr, both of whom ran it as an inn called the White Lion; presumably this was after the previous White Lion at Nos 10 & 12 Northgate Street, also owned by Avery, had ceased to function (deed of 1875 for No 20 Northgate Street, WCC Deeds 4).

2.4.15 Francis Barr was holding this house and the bowling green behind Nos 6-16 Northgate Street at the time of his death in 1771 (WRO CR 556/587; rate books for 1771-2, WRO DR 126/73-88). Barr also held a garden in Northgate and land belonging to the Stokes family, both of which were presumably parts of the land at the rear and north side of No 22 Northgate, and may explain the similarity between the two stone pavilions fronting on to The Butts at the back of Nos 18 and 22, which

currently form part of the Warwickshire Museum Field Services offices and stores (WRO DR 126/73-88).

2.4.16 In 1772 the house was bought by Francis Hiorn, the architect, probably along with the bowling green, though the summer house was incorporated by Avery's heirs with No 10 Northgate Street at this time (WRO CR556/587). In 1776 Hiorn sold the southern half of the house (what is now No 18) to Anna Gilbert, who had already been in occupation in 1775 (WRO CR 2531/3), but retained the northern half (now No 20) as his own residence.

2.4.17 The part bought by Miss Gilbert consisted of two parlours to the street, a front door leading through the house on the ground floor, with a kitchen and outhouses extending behind the house into the garden, which reached to The Butts and had a stable at the north east corner. On the first floor were two bedchambers towards the street, with another chamber and a closet over the kitchen. A second closet at the rear of the house extended partially over a parlour at the back of Francis Hiorn's part of the building. On the attic four were four garrets, two at the front and two at the back. In the wall separating the gardens of the now divided property was a well and pump, use of which was to be shared. This description indicates that the building was already divided in two parts at the time of the sale, each with their own front door and a full set of accommodation and with the garden divided by a wall, though the reference to a closet lying over a parlour belonging to the other half implies that the division was not original (and may indeed have been done for the sale). A County Architect's drawing of 1927 (WRO CR 2487/WBC 624) shows dividing walls removed when the council re-joined the two, and there is no reason to doubt that they were those inserted by Hiorn.

*Extension of No 22, late 18th century/early 19th century*

2.4.18 Another noticeable change was the single bay extension on the north side of No 22. Gomme suggests that the extension to the north side of No 22 was built shortly after Smith's marriage in 1702 on part of the empty plot bought from the Cawthornes for this purpose, but it seems quite clear that the 1702 conveyance refers to the whole of the Cawthorne land in Northgate Street (Gomme 2000, 384-386, Cluley 2006, 39). In September 1704 Smith was allowed £10 for a strip of land 38 long by 4 feet wide that had been taken from the built part of his land to enlarge the street. This matches the width of the original part of the house without the extension, which must therefore date from after 1704 (Farr 1992, 109, 502).

2.4.19 Map evidence helps to date the extension more closely. It first appears on a later (undated) version of the Baker's 1788 map (WRO CR 1886/M32; Fig 48), where it is shown very clearly as an addition to the original house. This map must date from no earlier than the late 1790s, as it shows the work completed on the gaol by that time, and pre-dates the extension of the Bridewell into the site of the former Roundabout House on Barrack Street in the 1820s. This confirms the extension as from between those dates, possibly after 1806 as it is not on James map of that year (Fig 49), although it may simply have been omitted in error. This agrees with stylistic evidence which suggests a date no earlier than the late 18th century: the windows of the extension have concealed sash boxes, which generally date from after the London Building Act of 1774 (Hall 2005, 77), in contrast with the street elevation of the original house which has the earlier style of exposed sash boxes.



*Housing and business premises, 19th century*

2.4.20 Most of the buildings continued to be used as a mixture of dwellings and business premises, sample occupancy from the middle of the century being:

Modern number	Date	Occupier	Comment
2	1847	J Brookes (land surveyor)	
4	1833	Mary Prichard (school teacher)	
6	1874	J Purser (fishmonger)	
8	1845	W Tibbits (lawyer)	
10	1836	J Birch (surgeon)	
14	1824	E Day (unkown)	
16	1850	T Nicks (solicitor)	
18	1833	J Twamley (wine merchant)	Conveyance mentions warehouses, wine vaults and a vinery
20	1842	Misses R & E Boswell, landed proprietors	
22	1828-60	Rev Farr	

*County Militia Store and accommodation, 1839-1913*

2.4.21 Public ownership on the east side of Northgate Street started in 1839 when the County Lieutenancy bought Nos 12 and 14 for use as an armoury, store rooms and accommodation for the county militia. The property was deemed to belong to the Quarter Sessions until 1888, and then vested in the newly formed County Council by the Local Government Act of that year. The premises were let to the Warwickshire Volunteers for over 30 years and afterwards to the Territorial Force Association who gave up the tenancy in 1913, after which the old Militia stores were converted into the County Finance Office.

2.4.22 The existing rear extensions of Nos 12 and 14 were demolished for the construction of the new Militia Store. This consisted of a two-storey building orientated north-south at the rear of the plots, linked to No 14 by a new single-storey range running east-west along the northern boundary of No 14. Part of the ground floor of No 14 was removed to create a wide carriage entrance to the rear courtyard and new store. An architect's drawing of 1846 shows the proposed new building, and associated alterations to the original Nos 12 and 14 (WRO QS 24/566, Fig 50). The two storey store is shown as four bays extending the full width of the rear (east) gardens of Nos 12 and 14, with a small rectangular rear projection on the east side adjoining the rear boundary only at one corner.

2.4.23 The Militia Store is shown on the 1851 Board of Health map (Fig 51), precisely as on the 1846 plans. However, on the 1887 Ordnance Survey 1:500 map (Fig 52) there are differences. The store building at the rear is not the full width of Nos 12 and 14, but has a small garden between its southern wall and the southern boundary of No 12, and the projection on the east side is wider, extending all the way to the boundary. The 1905 Ordnance Survey 1:2500 map is similar. The differences cannot easily be reconciled. It is hard to imagine a reason why the building would be reduced to three bays in the short time between 1851 and 1887, as this would have involved major reconstruction and a significant loss of accommodation. It is perhaps more likely that for some reason it was actually built to a slightly different plan, although this requires an explanation of why the 1851 map shows the original design. It is possible that the building was not sufficiently complete to be surveyed in 1851 but, knowing it was being built or about to be built, the surveyors based the map on the 1846 plans, either without realising they had been changed, or discovering the change too late to alter the map.

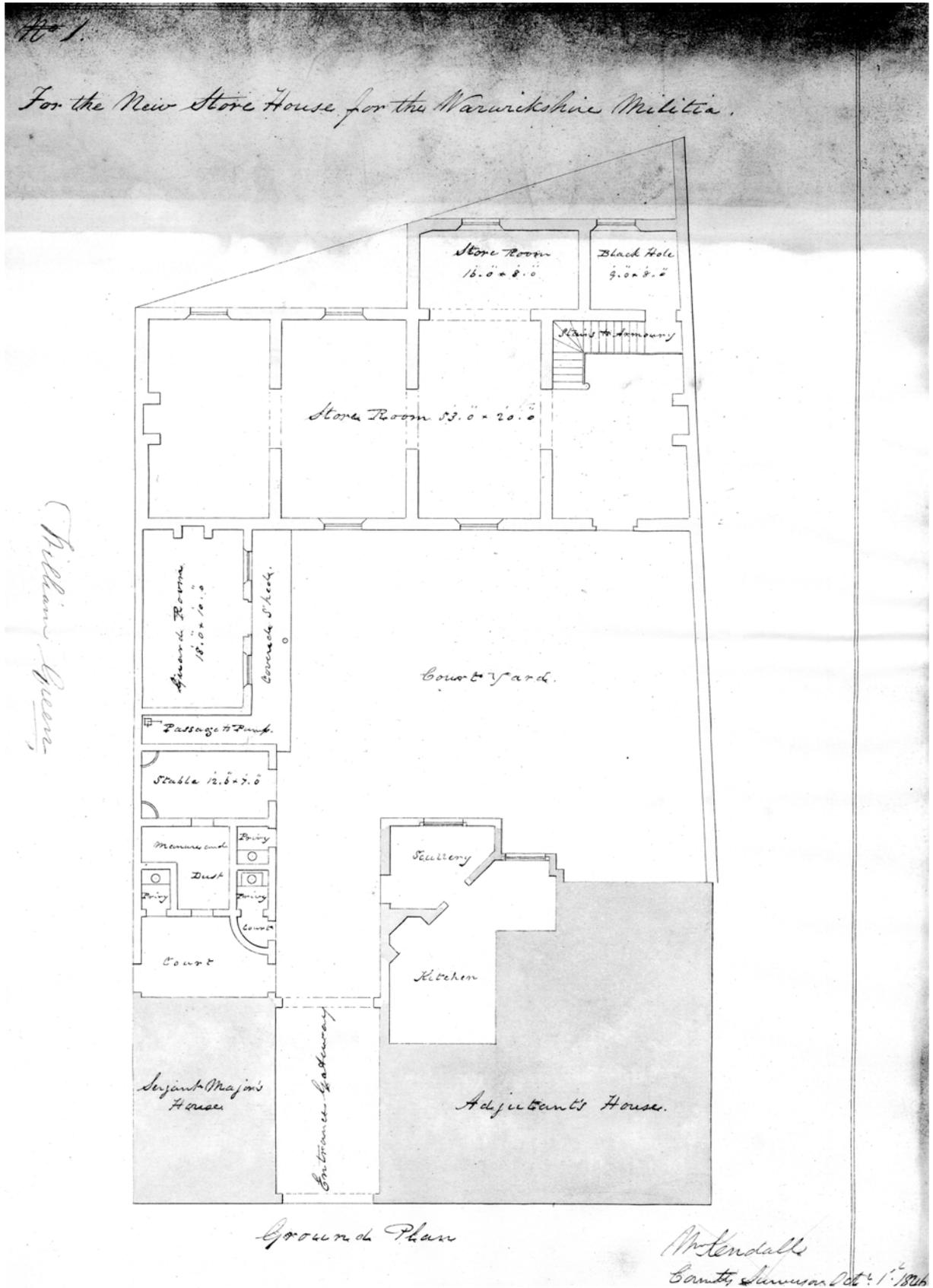


Fig 50: Plans of proposed new Militia Store and alterations to existing buildings, 1846 (WRO WRO QS 24/566)

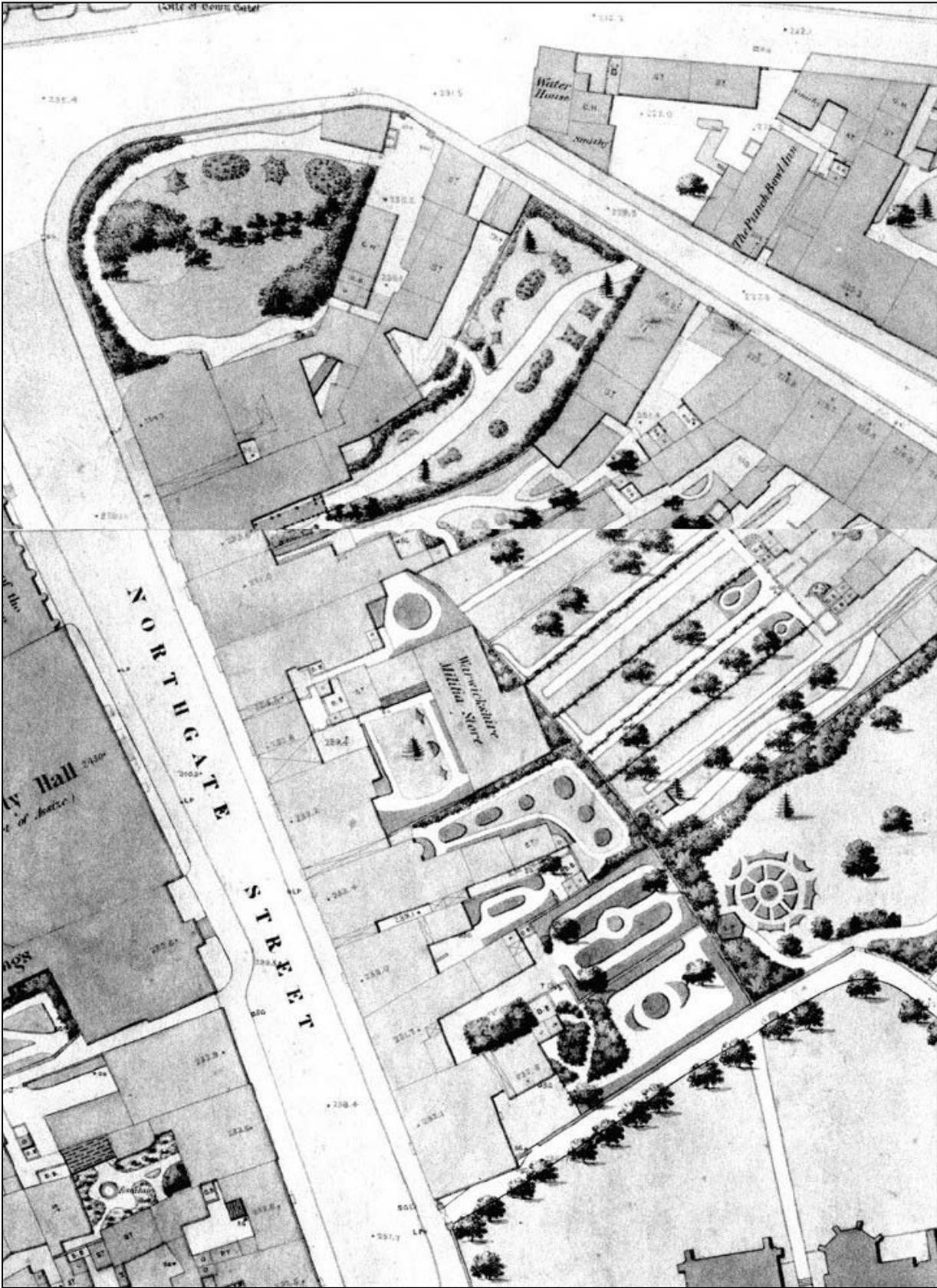


Fig 51: Detail from Board of Health map of 1851

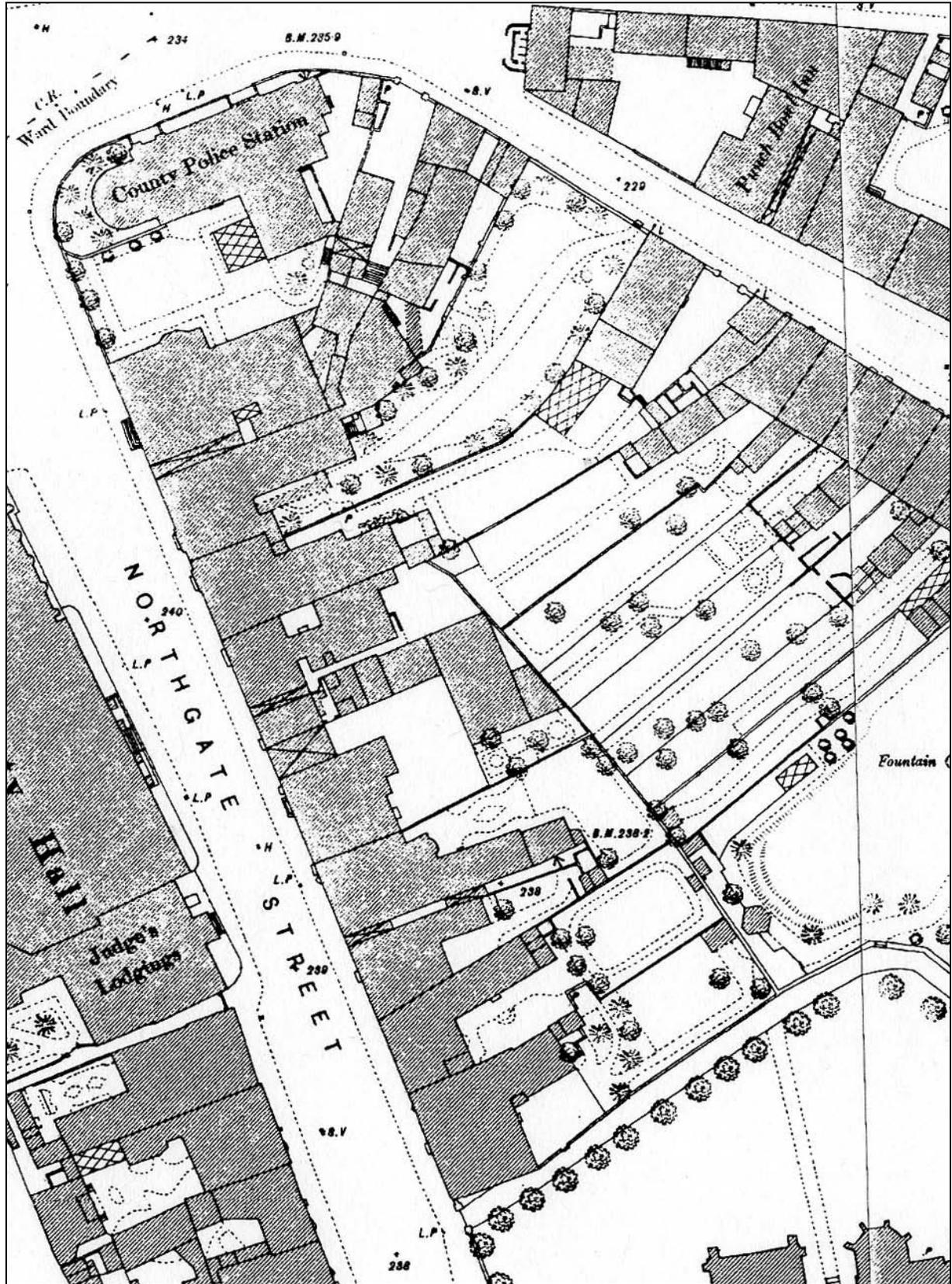


Fig 52: Detail from Ordnance Survey 1:500 map of 1887

*County Police Headquarters 1882-3*

2.4.24 As described above (sections 3.95-6) the garden of No 22 was extended northwards in 1743 by the acquisition of a piece of former waste ground from the Earl of Warwick. In 1882 the County authorities purchased No 22 to use the northern part of the garden, probably roughly corresponding to the 1743 extension, for a new County Police Headquarters. Construction took place in 1882-3 (VCH 1969, 448). The east part of the building provided living accommodation for the sergeant/drill instructor, and the Chief Constable lived in No 22 until 1904, after which it was converted to offices for the Education Department (Spennells). The building was extended to the east in 1911 (Architect's drawing WRO CR2487/WBC330, Fig 54).

*Conversion of Militia Store to County Finance Office, and extension of offices to rear of Northgate Street, 1913-1924*

2.4.25 The Militia had occupied Nos 12 and 14 since 1839. Following the surrender of the lease of the Militia premises to the Council in 1913 the former store was converted to the County Finance Office, and Nos 10 and 16 purchased in 1914, No 20 in 1917 and No 6 in 1919 for use as offices. Most of the linking range between the Militia Store and No 14 was demolished and a small extension was added to the south of the Militia Store building, taking it to the southern boundary of No 12 and making it the length originally envisaged by the 1846 plans. This is shown as existing on an architect's drawing of February 1924 (WRO CR 2487/WBC 522), and is likely to have been built after the Council took over the property in 1913 and acquired Nos 10 and 16.

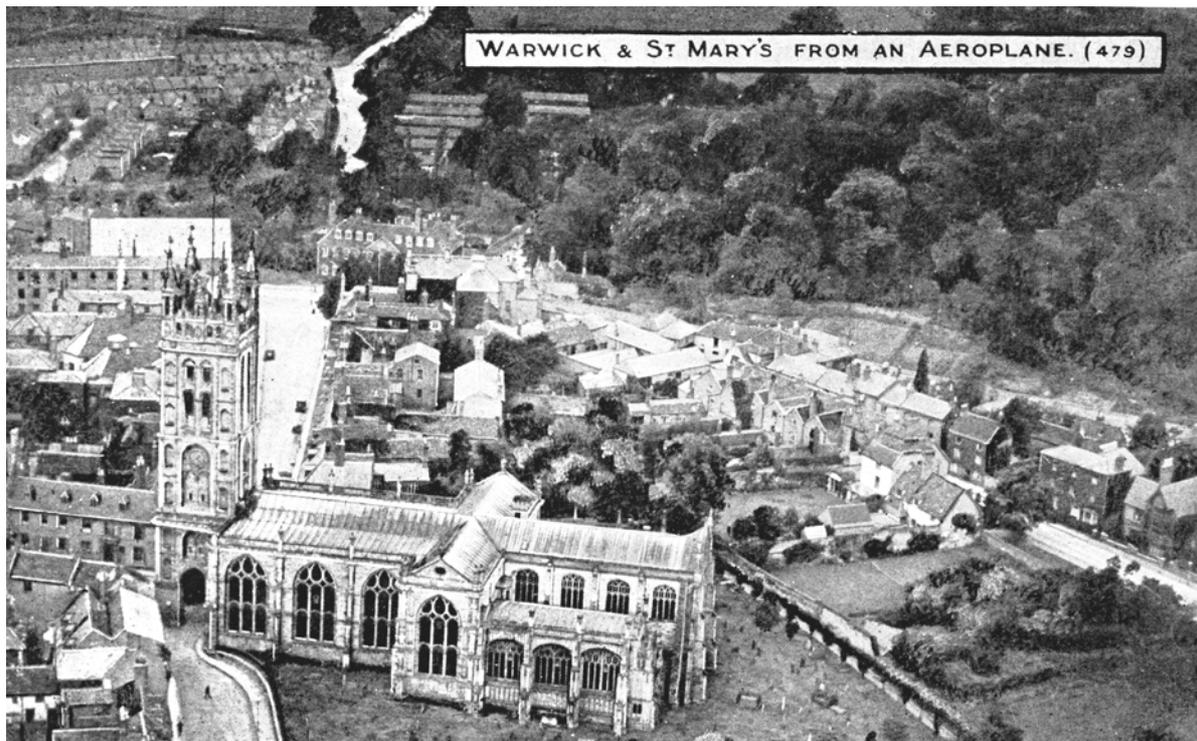


Fig 53: Aerial photograph of 1920 showing the east side of Northgate Street before extensions to the Finance Office, formerly the Militia Store, in 1924 (WRO PH 353/187/336)

2.4.26 In 1924 the rear building was extended further to the south, approximately doubling its size, with existing elevations modernised to match; this also required demolition of the rear extensions of Nos 6 and 10. The architect's plans, dated 1924,

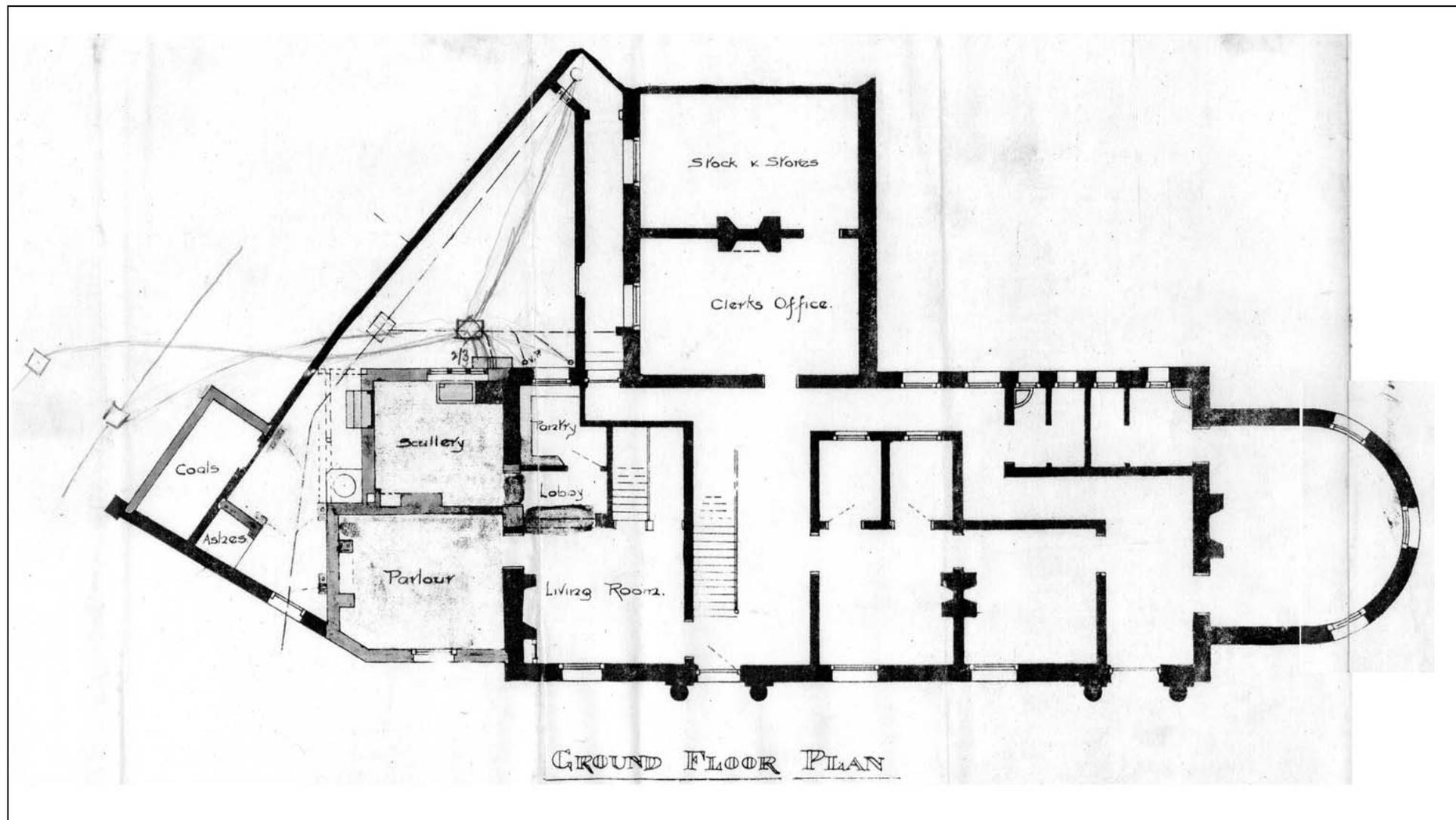


Fig 54: County Police Headquarters, architect's drawing showing 1911 extension in light shading (WRO CR 2487/WBC 330)

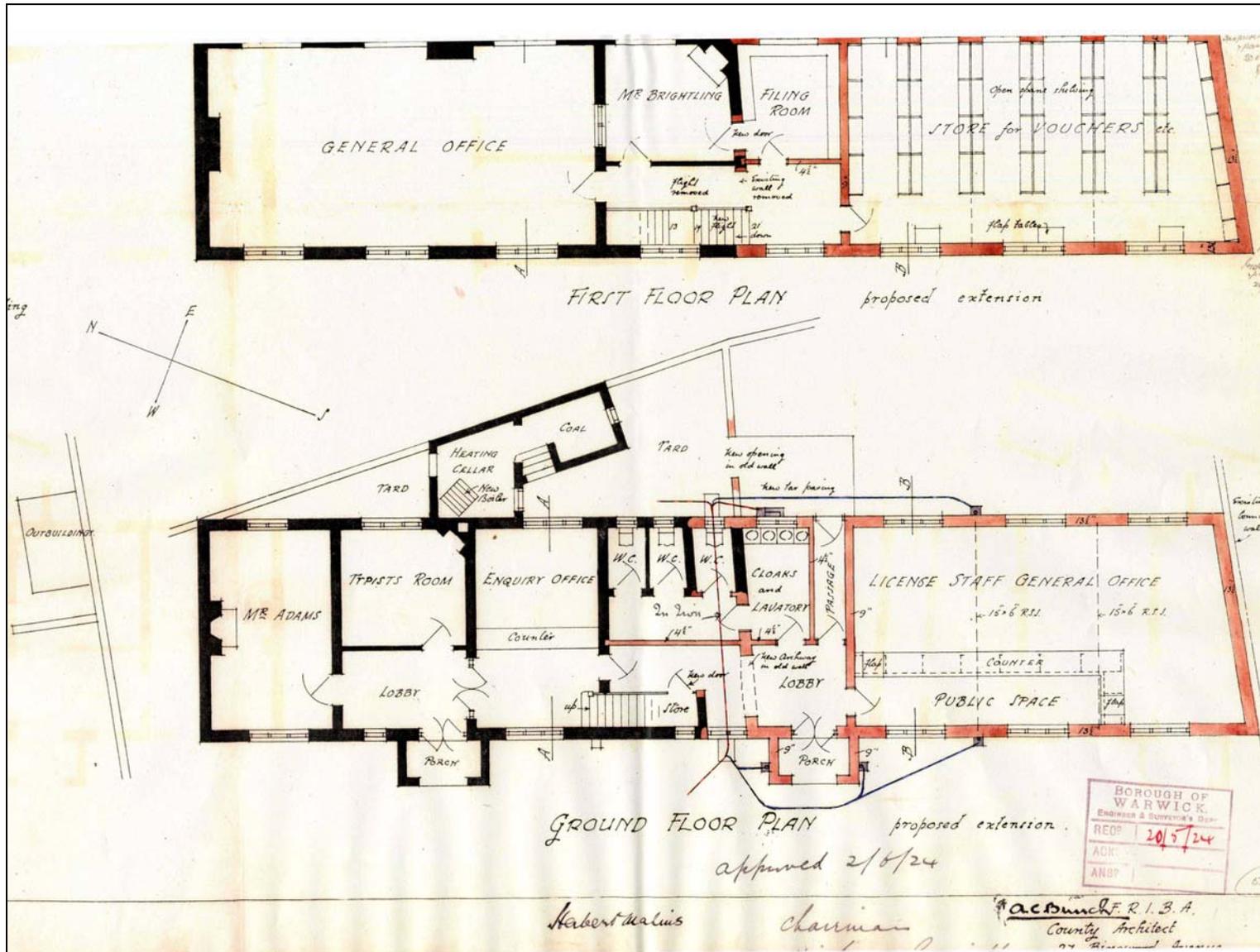


Fig 55: Detail from County Architect's drawing showing 1924 extensions in red (WRO CR 2487/ WBC552)

are annotated to record inspection of the new foundations later that year, confirming the date of construction (WRO CR 2487/ WBC552; Fig 55). They also show Nos 10 and 12 according to the original numbering. The renumbering of No 10 and the front part of No 12 (the remaining part of the original house) to Nos 8 and 10 respectively was carried out around this time, and may have been in connection with the alterations, enabling the newly extended Finance Office at the rear to be distinguished henceforth as No 12.

*Construction of additional offices to rear of Northgate Street, 1932-1937*

2.4.27 In the early 1930s a major programme of development took place. (No 18 had already been purchased in 1926.) The rear extensions of Nos 16-22 and the remaining fragment of the link building at the rear of No 14 were demolished or truncated, a new extension added north from the old Militia Store with an east-west wing connecting with No 22, and a corridor in similar style added to part of the west side of the existing offices. The rear wing of No 20 was retained in its entirety, except for the rebuilding of the back (east) wall to join it to the new block. From this time the remaining outbuildings fronting The Butts, originally belonging to Nos 18 and 20, were physically separated from the original houses.

2.4.28 The details are shown on a County Architect's drawing dated March 1931 (WCC drawing 51930111; Fig 56) and the building was probably completed in 1932; the booklet produced for the 1966 Shire Hall extension opening ceremony refers to it as being added at the same time as the new offices on the site of the former gaol, and states that the 'formal opening of the new buildings took place in 1932'.

2.4.29 The last two properties still privately owned (Nos 2 and 4) were acquired by the Council in 1932 and 1933. The final phase of office construction, extending southwards from the 1924 building and adding a corridor to its west elevation, is shown on a County Architect's drawing dated May 1936 (WRO CR 2487/WBC 1170), and is identical in style to the 1932 work. It was probably built c.1937, as it is shown on a County Architect's Block Plan of that year (WCC Deeds 14/570), apparently as existing. The first Ordnance Survey 1:2500 map on which it appears is that of 1952. This final extension established the present layout, with the exception of the first floor footbridge connecting the rear offices with No 14, added in the 1960s.

2.4.30 In summary the present offices (No 12) at the rear of Northgate Street incorporate, heavily altered, the mid 19th-century Militia Store building, with extensions dating to 1913-1924, 1924, 1932 and c.1937.

2.4.31 It is interesting to note that the 1932 phase was only part of a more extensive scheme that was never carried out in full. Fig 56 also shows (dashed lines) a proposal to demolish Nos 6 to 20 Northgate Street and replace them with a new front block and central courtyard continuing the same design, with a 'Future Main Entrance' from the street. The late 17th-century houses were probably saved by a combination of financial constraints and the Second World War.

*Acquisition and conversion of The Butts store, 1930*

2.4.32 The veterinary stables and yard at the north end of The Butts, which before 1903 were part of the garden of No 20 Northgate Street but had been sold that year, were purchased by the Council in 1930. Originally two stone buildings either side of an open space, these had been joined by a covered yard and stables in 1904. Plans drawn up by the County Architect in June 1931 show a major reconstruction of the 1904 infill (WRO CR 2487/WBC 806). The front section adjoining the street remained, but the rear section, originally single storey buildings around a roofed yard, was so completely rebuilt as to be virtually a new building, with a steel frame, added to the



first floor, and the roof re-used at a higher level. The two 18th-century stone buildings were altered, and a 19th-century store behind the northernmost rebuilt on a slightly different alignment. The County Council first used the premises as a store for the Education Department.

#### *Post-World War II to present*

##### *Northgate Street*

2.4.33 There have been no further major changes to the basic plan of the Northgate Street buildings since World War II, although the occupancy has varied and there have been internal alterations. A corridor was added to the rear of Nos 14 and 16 Northgate Street some time between the Ordnance Survey mapping of 1952 and 1968/70, and in the 1960s a footbridge was built at first floor level between No 14 and the rear block.

2.3.34 The front elevations have seen little change, except for that of Nos 14 and 16. The present appearance, which gives the impression of a single house, is recent. Photographs show that around 1900 the first floor of No 16 looked similar to today, and the ground floor door and the window to its right were as today, but instead of the present second window there was a door to a through passage giving access to the rear. The front elevation of No 14 was, however, significantly different. On the first floor it had three plain windows with no architrave mouldings, and there was no moulded band between the first and second floors (WRO PH 1035/A4641). On the ground floor there was a single plain window and to its right the wide carriage entrance giving access to the rear.

2.3.35 By 1947 the single ground floor window of No 14 had been replaced by two windows (WRO PH 143/840), which survived until at least 1961 (WRO PH 143/837, Fig 57). By 1973 the buildings had been altered to assume their present appearance. The passage between Nos 14 and 16 had been blocked and the door to the street replaced by a window and architrave matching those of No 16, the two windows on the ground floor of No 14 had been replaced by a single similar window, the three first-floor windows of No 14 replaced by two similar windows, and the moulded string course extended across No 14 (WRO PH 1035/B6140, Fig 58).

##### *Police Headquarters becomes Planning office, then Court Offices*

2.3.36 Around 1949 the 1883 building ceased to be the Police Headquarters and became the County Planning Office (County Architect's drawing WRO CR 2487/WBC 681 of 1949) and is now occupied by the Courts Service as administrative offices. The extension to the south-east, joining it to the store premises in The Butts and subsuming an existing smaller outbuilding, first appears at ground floor level on a County Architect's plan of 1947 (WCC drawing 51940106) and on the 1952 Ordnance Survey 1:2500 map. The second floor of this was added later, possibly in the 1970s (WCC drawing 51940101), and certainly by 1980 (WCC drawing 51940110). The ground floor of this extension now forms part of the Museum premises (below) and the first floor is occupied by the Court Service.

##### *The Butts Store*

2.3.37 The basement below the southernmost of the original stone buildings was used as the Civil Defence Headquarters from the Second World War until replaced by a new facility below Shire Hall in 1966. It later became the County Library Headquarters, undergoing further alterations in the 1950s (WCC drawing 5195116), and is currently used by the Warwickshire Museum as offices and stores.



Fig 57: Northgate Street east side, 1961, looking approximately from north to south. No 16 is the first white building from the left, No 14 is the second white building, with the wide entrance (WRO PH 143/837; poor quality original)



Fig 58: Northgate Street east side, 1978. Nos 14 and 16 altered to present appearance. The wide entrance of No 14 is behind the white car (WRO PH 1035/B6140)

## 2.5 Area D, Northgate House

### *Introduction*

2.5.1 Northgate House occupies a prominent position at the junction of the Saltisford and Priory Road, immediately outside the former north gate of the medieval town on the corner with the ancient lane leading to Wedgnock (Cape Road). Its site is therefore likely to have been part of the earliest suburban development of the town.

2.5.2 The site is now occupied by two houses forming a single unit, built by Sir Henry Puckering after the Great Fire of 1694, with a large area of open ground on the Saltisford to the west. Before the Fire, a number of properties stood in this site, although it is not possible to relate them precisely to the post 1694 building. The documentary evidence is incomplete, sometimes contradictory and confusing, but it is possible to reconstruct a likely sequence of buildings on at least part of this site from the late Middle Ages (Fig 59, based on a plan by Wallsgrove; for ownership summaries see Appendix B).

### *Medieval and post-medieval development to the Great Fire of 1694*

2.5.3 The first firm evidence for landholdings in this area is provided by the rental of the Earl of Warwick's possessions in Warwick of 1482. This shows clearly that the site was occupied by at least five properties abutting one another, running west along the Saltisford from the lane now called Cape Road.

2.5.4 The first house (Fig 59, plot A) is described in the 1482 rental as a cottage in the Saltisford of the Earl of Warwick, on the west side of Cape Road, in the occupation of George Heyne. This cottage does not occur in the 1575 rental, and had presumably been alienated from the earldom sometime previously. It may be identified with the house of Thomas Camell in the Saltisford mentioned in the 1586 list of communicants (Book of John Fisher?), and with the house of Thomas Camell listed in the Puckering rental of c. 1597 (SBT DR 37/3/16: Thomas Camell was Sir John Puckering's accountant in 1590, Dugdale mss, Antiquities drafts, vol. 2). In 1612 it was granted on a 99 year lease to Nicholas Chowne of Warwick, another Puckering associate (WRO CR26/D1/19). In 1657 it was described as Mrs Ely's house in an endorsement on the lease of 1612, and Mrs Ely is noted as occupying a house with four hearths in the Saltisford in the Hearth Tax returns from 1662 to 1674. She is also described as the occupant or tenant in two Puckering family settlements of 1652 and 1693 (WRO CR 26/1 (2) 13, CR 26/1 (20) 32). The long lease may have ended by 1694, when the house is identified in the Fire Court records as belonging to Sir Henry Puckering and in the occupation of Edward Angrave, weaver. It then consisted of a five bay building fronting onto the Saltisford with back buildings of 12 bays (perhaps along Cape Road).

2.5.5 The second house (Fig 59, plot B) is described in 1482 as a tenement of the Guild of Warwick, paying a chief rent of 20d to the earl. This payment can be traced in the 1575 rental, when it is described as a tenement formerly belonging to the guild in the tenure of Nicholas Getley, who occurs in the 1586 list of communicants as the next name to Thomas Camell. It was presumably one of the former Guild properties on the Saltisford sold to Sir John Puckering in 1590 (WRO CR 26/1 (2) 11), and occurs (still in the tenure of Getley) in the rental of c.1597. In 1612 it was leased to Richard Calloway, maltster, and is described as adjoining the house of Nicholas Chowne. Unfortunately it does not appear in the manorial rentals of 1619 and later, but was leased to Calloway again in 1633. In 1693 it is described as the house called The Lamb in the tenure of Anne Harris, widow, adjoining the house leased to Elizabeth Ely, widow. It was completely destroyed in the 1694 fire, and is described in the Fire



Fig 59: Northgate House (Area D), historic tenements

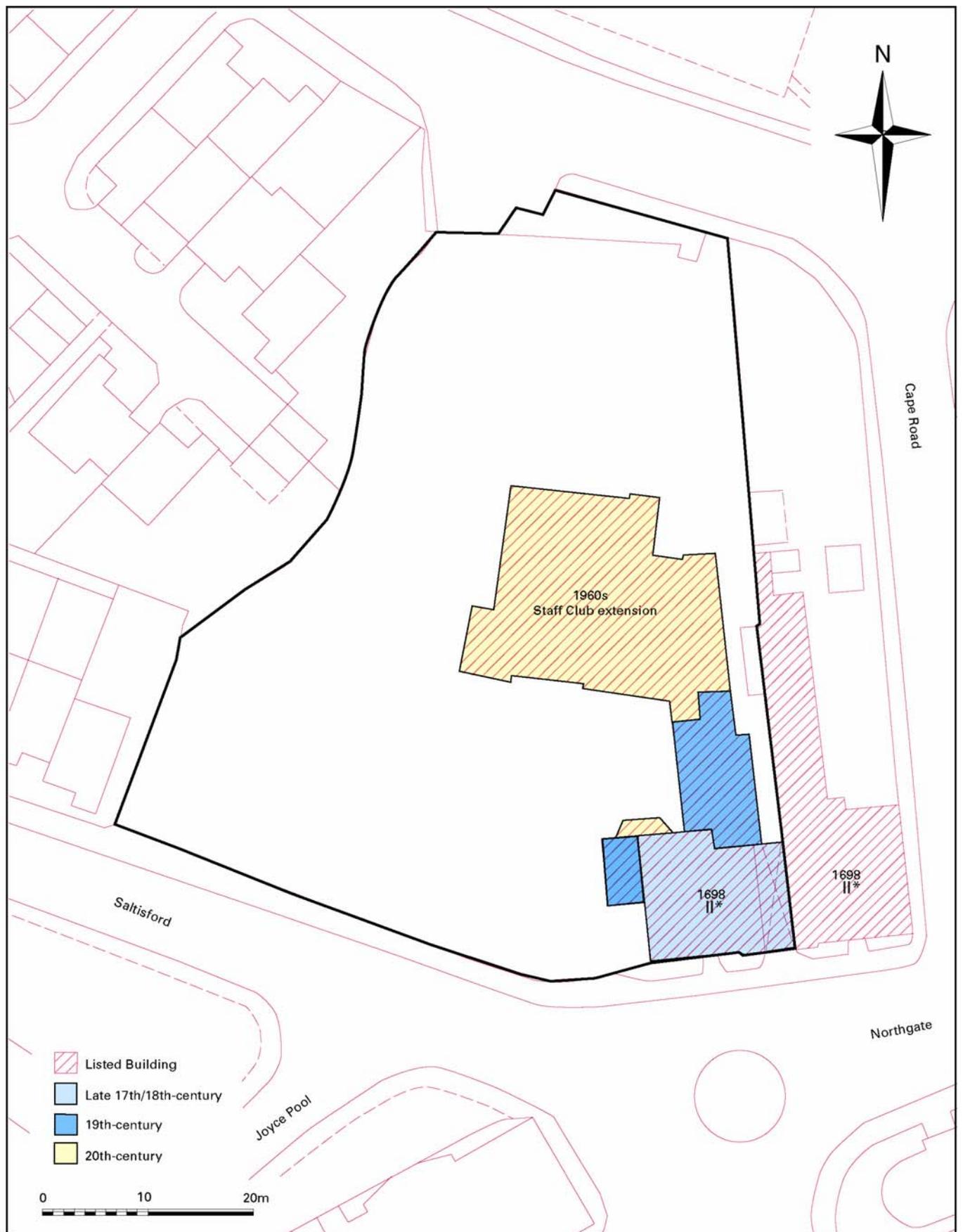


Fig 60: Northgate House (Area D), standing building phases

Court record as having had a three bay range fronting the Saltisford, back buildings of 5 bays and a two bay barn.

2.5.6 The third house (plot C) is described in the 1482 rental as a cottage belonging to John Banham, which had belonged to John Woodlowe, paying a chief rent of 8d. This payment can be traced in the 1575 rental, where it is paid on a little tenement belonging to John and Mary Fisher, occupied by William Staunton. The latter occurs as the next name to Nicholas Getley in the 1586 communicants list. No certain mention of it can then be found until 1633, when Richard Calloway's lease mentions that the garden boundary on the west side is the responsibility of widow Clarke. The Fire Court records describe this house as consisting of a one bay house and a one bay barn, in the occupation and ownership of John Evetts. Only the barn at the rear of the house was totally destroyed in the fire, the house being only damaged, and this was the last house affected on this side of Saltisford. In 1695 it was sold by Evetts to Sir Henry Puckering (WRO CR 26/1/(4)D1 pt2: the deed does not survive, but this fine for this and Robert Blissett's house indicates that both properties were sold to Puckering at the same time).

2.5.7 The fourth house (plot D) belonged to the earl in 1482, and is described as a tenement, previously four cottages, lately in the tenure of John Tyler and afterwards of John Carpenter. This is the only property which can be traced through all the manorial records to the period after the fire. It can be identified in the 1575 rental as a cottage in the occupation of Samuel Jarves held on a long lease from the earl by Daniel Heyth, adjoining William Staunton's house on the east and extending back to Cape Road. In 1580 Barnaby Holbeach took over the lease (note on 1575 rental), and he still held the property in 1619. In the 1641 rental it was held by Edward Lapworth, and had previously been in the hands of John Clarke. By 1694 the property belonged to Robert Blissett, who in November of that year sold it, described as a tenement and garden adjoining that of John Evetts in the tenure of Stephen Bradley, to Sir Henry Puckering. In 1707 Lady Bowyer (who held a life estate in the Puckering lands) was paying the chief rent for this tenement, or more probably for its site.

2.5.8 The fifth house (plot E) mentioned in the 1482 rental was also a cottage belonging to the Guild. It occurs there as an abuttal, paying no rent to the earl and therefore impossible to trace through most of the later manorial rentals. It may be the Guild property leased to William Goddard in 1545 for 60 years. It also occurs as an abuttal in the 1575 rental, where it is described as a tenement of John Baker. John Baker occurs in the 1586 communicants list, but is separated from William Staunton's name by three other names (possibly because the list was not recorded in strict order). It seems very likely that this property is one of the fourteen Guild properties Sir John Puckering obtained in 1590 from John Wells and Richard Plaice (WRO CR 26/1 (2) 11), of which the second Saltisford tenant is given as William Goddard (though the tenants named there probably refer to a much earlier grant, shortly after the dissolution of the Guild in 1548). In the Puckering rental of c.1597 the house leased in 1545 was then in the possession of Humphrey Bowkye. It can possibly be identified with the second named Saltisford house in the 1652 settlement, occupied by Richard Hadley. In 1695 this property was part of an area referred to as "certain gardens called the burnt gardens now or late in the occupation of Anne Harris, widow" and belonging to Sir Henry Puckering, situated on the west side of Robert Blissett's house (survey of 1711, WRO CR 26/2 (1)).

2.5.9 The exact position of houses A-E is impossible to determine; all that can be said is that they abutted on the east onto Cape Road. Nor is it possible to be sure about what lay to their west, but in all likelihood the fifth house, along with others adjoining to the west (plots F-L), was one of a group of eight houses in the Saltisford burnt down in 1664 (WRO Cal QS, Ep Sessions 1665, 314). The occupants of two of these houses (the fourth and fifth named, Samuel Pegg, husbandman, and John Francis, weaver) can be identified as Puckering tenants in the settlement of 1652, and

the occupant of the eighth house (plot H), Thomas Glover, occurs in 1635 as a tenant of a Puckering house in the Saltisford on a 21 year lease (WRO CR 26/D12). It is therefore quite possible that all eight houses were former Guild cottages bought by Sir John in 1590, and that none of them were rebuilt after 1664. The first surviving Commoners Roll of 1698 leaps straight from Sir Henry Puckering's two rebuilt houses at Northgate to a house of Widow Wood which became No 2 North Rock and was probably the house leased by Sir Henry to Richard Wood of Warwick, tiler, in 1688 (which survived the fire), indicating that the plots between Northgate House and Wood's house were never rebuilt.

2.5.10 It is likely that all five of these properties extended from the Saltisford all the way back to Cape Road. This is confirmed in the case of plot D by the rental of 1575, and one of the Guild cottages that Sir John Puckering bought is also described in the same way in a lease of 1544 (WRO CR 26/1 (2) 11). Unfortunately it is impossible to be sure about the position of this cottage, but because it extended back to Cape Road (rather than the Pigwells) it must have been very close to the fifth house, plot E (both are separately mentioned in the 1575 rental, so it was not the same house), and it was almost certainly one of those burnt down in 1664.

#### *Rebuilding after the Great Fire*

2.5.11 Shortly after the Fire Sir Henry Puckering began to build a large and handsome pair of houses on the site. These occupied the sites of not only Angrave's house and The Lamb which were destroyed in the Fire (plots A and B), but also of the two houses to the west which had survived that he had bought from Blissett and Evetts, presumably for this purpose (plots C and D). At least one was bought within three months of the Fire. The whole building was probably substantially complete by 1698 or soon afterwards, as Puckering received payments towards rebuilding in 1697, and both the houses are listed in the 1698 Commoners Roll. The earliest surviving lease is of the western half, dated 16 April 1702, and describes the whole property, or 'Great New House', as standing on the site of four houses with common rights (WRO CR 26/1 D8). A schedule added to the lease of "repairs, alterations, additions and finishings" provides some information about the western house (now the WCC Staff Club): it had a cellar, two parlours (front and rear), one of which was to be wainscoted, and a court at the back of the house indicating that the range of building at the rear shown on the maps of 1711, 1788 (Fig 61) and 1806 (Fig 62) was part of the 1694 rebuilding. A reference to the "great passage" shows that the carriage entrance in the middle of the building is original.

2.5.12 The western half was the bigger property, and included the "little close or orchard adjoining to the west part ... called the Burnt garden" in leases of 1702 and 1725 (WRO CR 26/1 D8). This is clearly shown on the maps of 1788 and 1806, and the Wise Estate map of 1803 (Fig 63), as including the sites of the burnt houses of 1664, and extending behind the remaining houses further down the Saltisford. This part of the garden was described as a kitchen garden in 1803. On the north it was bounded by the upper part of the Pigwells and by 1803 had become a stone quarry. By 1851 it had been made into an additional garden, though still divided from the original garden of the western house by a wall (Fig 64).

2.5.13 The western house was leased out to various people in the 18th century, but was sometimes occupied by members of the Wise family (such as Mrs Wise c.1775, and Matthew Wise in 1804), and in the late 19th/early 20th century was the residence of Brabazon Campbell, the family lawyer. Some alterations are discernable from the town maps: a link building between the main part of the house and the range at the rear appears on the 1788 map (it is shown as running diagonally across the court in

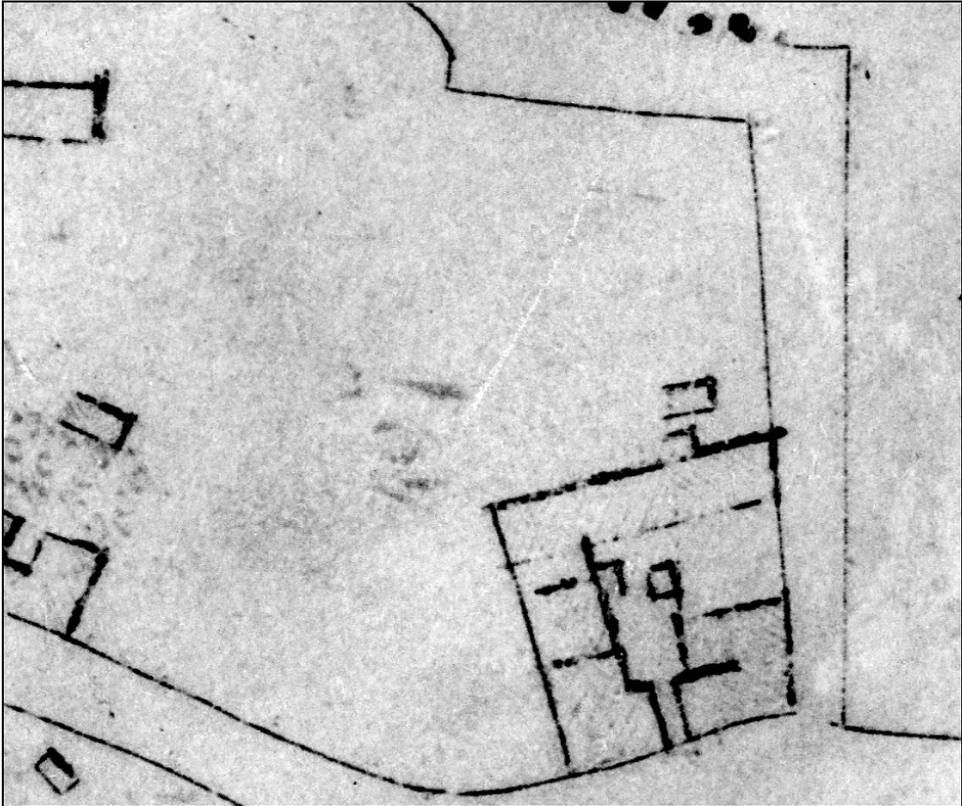


Fig 61: Detail from Baker's map of 1788

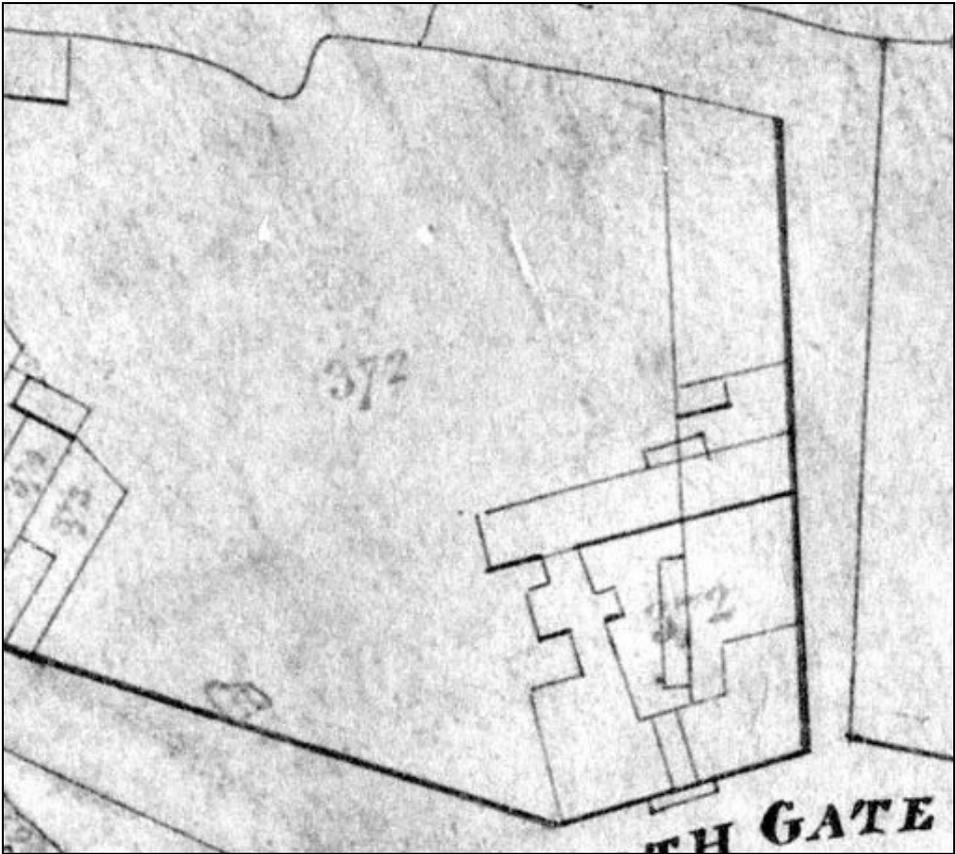


Fig 62: Detail from James' map of 1806

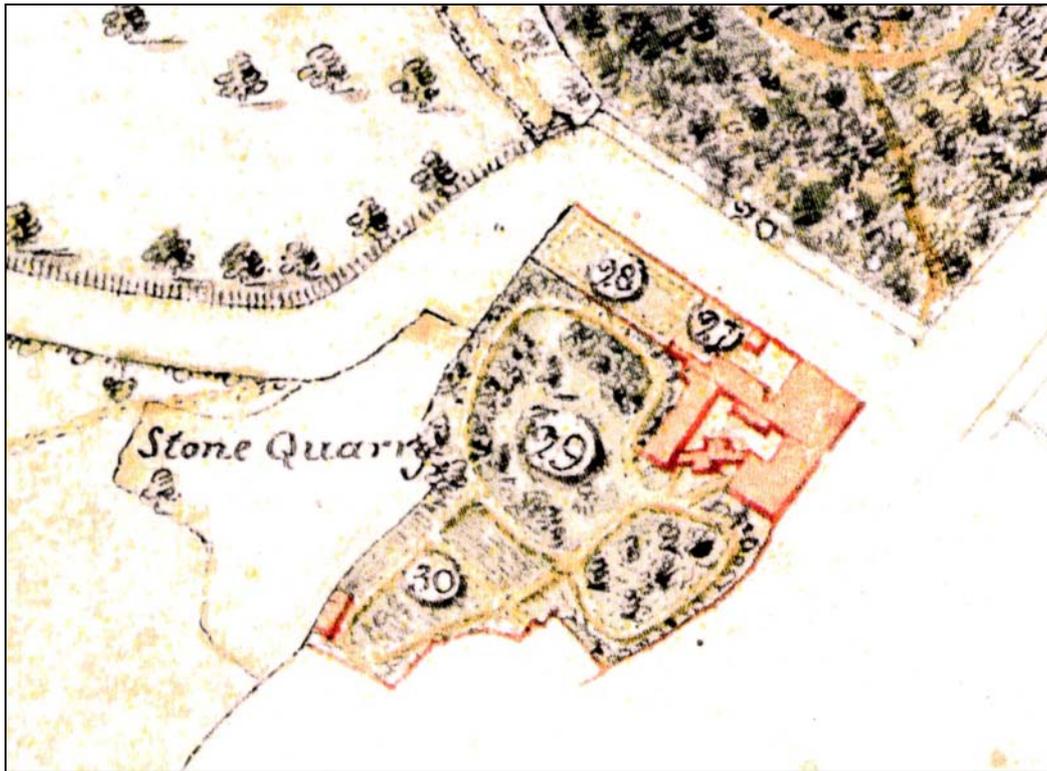


Fig 63: Detail from Wise Estate map of 1803 (WRO CR 26/2 (3))

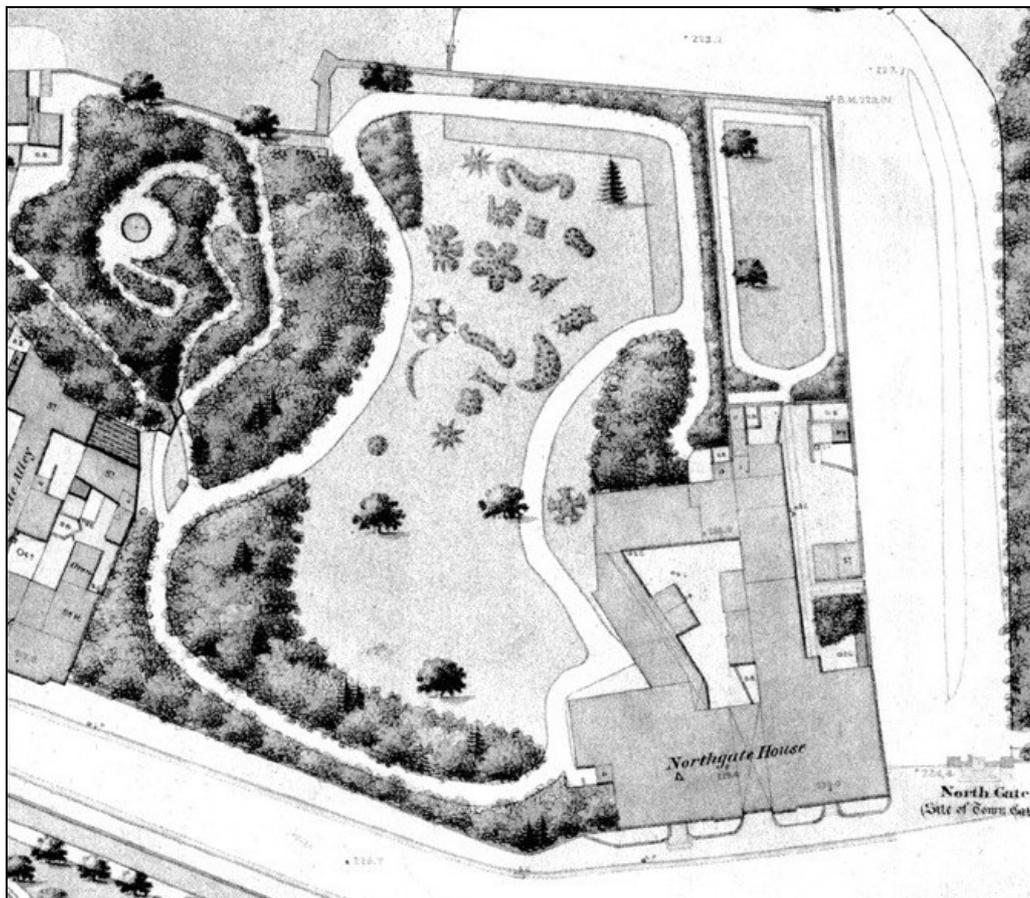


Fig 64: Detail from Board of Health map of 1851

the maps of 1803 and 1851), and an extension to the west side of the main house appears by 1851 by which time the western end of the rear range and the link building had been demolished. At some stage between 1851 and 1886 the rear parts of the house were substantially altered, possibly during the lease to the Rev Webb); the whole of the original rear range and the linking building were removed and replaced by a new range extending northwards from the back of the house (Fig 65). This contained a kitchen and scullery on the ground floor (architect's drawings of 1931, WRO CR 2487/WBC 827).

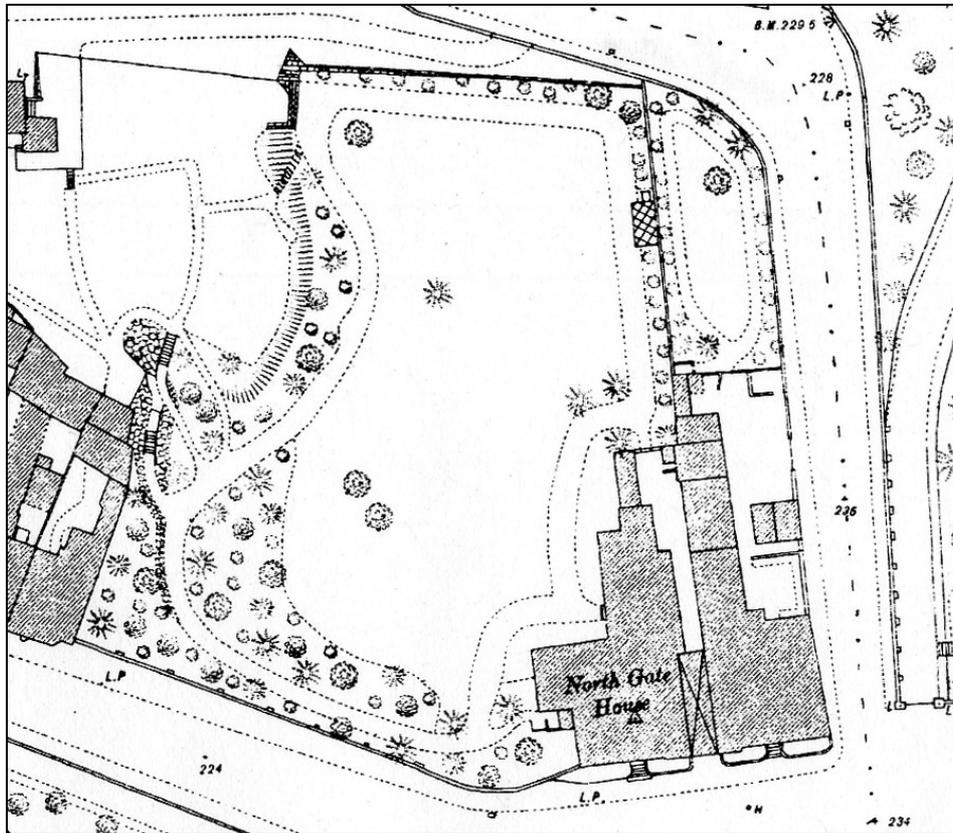


Fig 65: Detail from Ordnance Survey 1:500 map of 1887

2.5.14 In 1920 the descendants of the Wise family sold the western half of Northgate House to Major Hamilton, after which it passed through various hands until Dr GGC Taylor leased it in 1928. During his residence slight alterations were made to provide a WC and a waiting room for patients in place of the entrance to the cellars and a stair well (WRO CR 2487/WBC 827). Dr Taylor had an option to buy the property as part of his lease, which he did in 1946 (but apparently with the intention of selling it immediately). The County Council, always on the look-out for property in the neighbourhood of the Shire Hall, bought it from Dr Taylor in May of that year.

*Purchase by the County Council 1946, and conversion to Staff Club*

2.5.15 Following its purchase by the County Council in 1946 the house remained substantially as shown on the 1887 map, until in 1957 the Council prepared a scheme of adaptation for a staff club (WCC Prop Ser drawing 51960101). This included the part demolition and alteration of the late Victorian rear wing, the incorporation of the former carriage entrance into the building as part of the lounge bar area, and the addition of a large annexe to provide kitchens and a large canteen/function room, creating the layout seen today. The annexe was still shown as proposed on a conveyance plan dated 1960 (WCC deeds 788), and probably dates from the 1960s.



Fig 66: Northgate House, c.1884 (WRO PH 1035/C1106)



Fig 67: Northgate House, 1930, from *Architect's Journal* No 103 (WRO PH 343/824)

### 3. Description of existing buildings

#### 3.1 Introduction

3.1.1 The descriptions are organised by area, and where there is more than one building within the area by individual building or appropriate group of buildings. Each description is supplemented by one or more pages of photographs followed by a floor plan. The floor plan figures and room numbering in this section are taken from the following current Warwickshire County Council Resources (Property) survey drawings:

Area A	Main Shire Hall complex	51870127
Area B	Barrack Street offices	51970165
Area C	2 Northgate Street	51920103
	4-22 Northgate Street	51930106
	Court Offices	51940103
	Warwickshire Museum Store	51950107
Area D	Northgate House	51960108

3.1.2 Issues affecting the condition of the building fabric, and health and safety, were noted during the survey where apparent, but this document should not be taken as either a full building survey or health and safety audit. The Disability Discrimination Act 1998 (DDA) is discussed where issues affecting compliance were noted. This particularly affects the historic buildings which, with their sometimes awkward entrances and changes in floor level, and historic features, are the most difficult to make compliant. As for condition and health and safety, however, this document should not be taken as a DDA audit. The state of decoration ranges from good (most of the properties) to old and very shabby (notably a few premises in Area C), but is not considered as a significant condition issue and is not generally discussed.

3.1.3 The Shire Hall complex contains significant collections of pictures, furniture, plate and miscellaneous objects with a current insurance valuation of over £700,000 (Phillips 2000a, b). These are divided in ownership between the County Council and the Warwickshire Justices Wine and Plate Fund. An inventory has been prepared by Warwickshire Museum (Warwickshire Museum 2006), and full details are not repeated here.

### **3.2 Area A, Main Shire Hall complex**

3.2.1 The Shire Hall and Courts are Grade I Listed (LBS 307588). For Listing citations see Appendix C. The Warwickshire County Council Offices (that part formerly the Militia Barracks; LBS 307589) are also Grade I Listed, although the citation (of 1953) refers mainly to the remains of the former County Gaol, making only a passing reference to the 1932 Offices. Warwick District Council take the view that this Listing extends to the 1958 Council Chamber and Offices and the 1966 Committee Rooms, Ante-chamber extension and offices; this is a legal construct without reference to the architectural merits of the buildings. Abbotsford House is Grade II\* Listed. The Judges House is Grade II Listed, and this is also taken to include the extensions of 1955 and 1963 on its south side. No 1 Northgate Street is Grade II Listed.

*Shire Hall and Courts, Northgate Street* (Listed Grade I, LBS 307588)

#### *External description*

3.2.2 The Shire Hall and Courts were built in 1753-4 by William and David Hiorn of Warwick, probably to the design of Sanderson Miller, with the whole exterior front refaced with Hollington stone in 1948. The roof is slate. The front elevation is of nine bays with full Corinthian order and has a rusticated plinth. The centre portion is pedimented and has attached columns with pedestals. The large semi-circular headed entrance has two fielded panelled doors, hung folding, with an ornamental wrought iron fanlight, and there are plain semi-circular headed niches on each side. There is a heraldic cartouche with the County Council coat of arms (added in 1948) and carved swags of fruit and flowers to the main pediment, and similar swags in the spaces between the capitals. The three-window side wings have pilasters between bays, and twin pilasters to the left and right hand end bays. The window openings have architraves with pedimented entablature.

#### *Internal description*

3.2.3 The building contains two elements: the Shire Hall is a large open hall along the whole frontage immediately inside the main entrance, opening into three courts beyond. Courts 1 and 2 (and associated facilities) occupy the remainder of the ground floor of the building to the rear of the Hall, with Court 3 (the former Grand Jury Room) on the first floor. Internally there is a wealth of notable features, too numerous to describe in full, although the smaller rooms have been modernised. The main rooms and features are discussed below.

3.2.4 On the ground floor the front half of the building is the Shire Hall itself (Fig 71, Room 1740), which forms a full-height main circulating area entered from the street by the main door. The rear wall has plain panels between stone half-columns with entablature above, with a central arched entrance to the stairs (and thence to a circulating area known as the octagonal hall). The end walls are stone ashlar, with square half columns and entablature with central doors leading to office and ancillary accommodation. The end doors are later insertions. There are niches on either side of the central doors in each wall. The ceiling is coved, with square section mouldings and painted panels, and there is much carved foliage decoration. The open space is currently sub-divided by modern removable low partitions, and there is a free-standing security scanner inside the front door. The Hall is impressive and well-preserved, although its dignity and imposing proportions are spoiled by the modern partitions and furniture.

3.2.5 Either side of the central doorway in the rear wall are entrances to two courts (Rooms 1730, 1960). Courts 1 and 2 are the full height of the building, with a gallery at first floor level and similar in main details. The ceilings are domed and decorated,



A. Front elevation



B. Interior looking north



C. Interior, west wall

Fig 68: Shire Hall



A. Court 1 (Crown Court)



B. Court 2 (Nisi Prius)

Fig 69: Courts



A. Court 1, domed ceiling



D. Court 3 (Grand Jury Room)



B. Court 2 (Nisi Prius)



E. Octagonal Hall



C. Court 3 (Grand Jury Room)



F. Judge's room

Fig 70: Courts

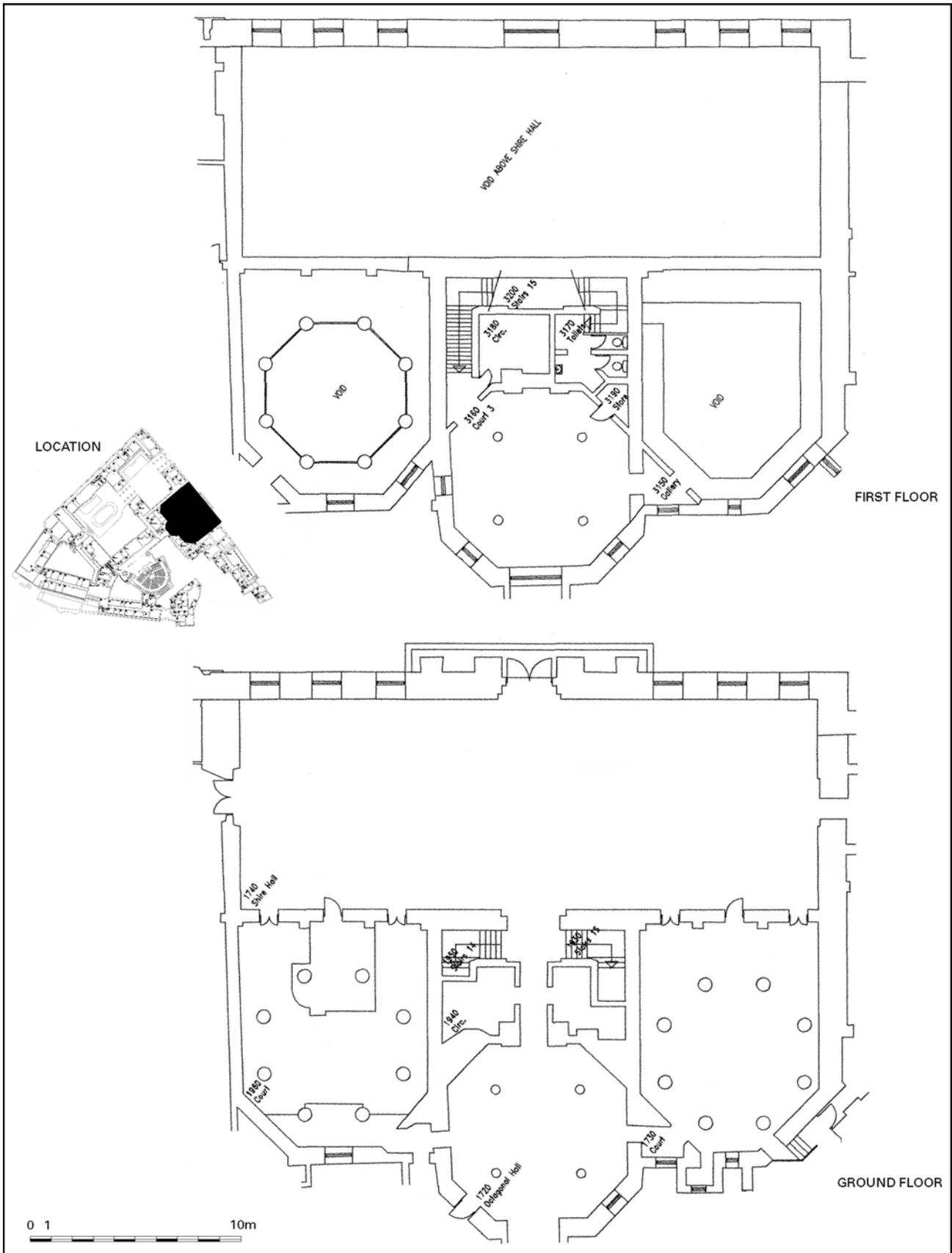


Fig 71: Shire Hall and Courts, floor plans

rising from an octagonal beam supported on eight round columns. The judge's bench is opposite the entrance from the Shire Hall, and is raised above the seating in the body of the court with a timber canopy and the Royal coat of arms above. The seating is timber, in stepped banks around the court with the bench as the focal point. There is further stepped seating in the centre. There are slight differences in fittings, reflecting the different original functions of the Crown and *Nisi Prius* courts.

3.2.6 The central doorway opens into the Octagonal Hall (Room 1720). This has four round columns supporting the ceiling above, which has square-section beams in relief. The area is currently sub-divided by modern low-height removable partitions and furniture to create legal consultation areas.

3.2.7 On the first floor above the Octagonal Hall is Court 3, formerly the Grand Jury Room (Room 3160). The ceiling is coved, with 18th-century decorative plaster motifs. In the east wall is an 18th-century fireplace with dentil moulded mantel and decorative swags. The walls are plain with a dado rail. The main window is a three-section sash, with semi-circular arched head to the central section. The side windows are rectangular sashes. The window openings are original, although all the windows have large later 19th- or 20th-century panes. The court has a layout similar to that of Courts 1 and 2, although the court fittings are freestanding and less ornate; there is no gallery and the lower ceiling height makes the room less impressive.

#### *Main condition / health and safety / access issues*

3.2.8 No significant condition or health and safety issues were noted. The main access from Northgate Street is *via* a short flight of steps and is not accessible to wheelchairs, although wheelchair access is available to the ground floor from the adjoining Council Chamber Ante-room. There is no direct lift access to the first floor. The only part of the first floor with access from the adjoining offices is the gallery of Court 1 (Room 2965). No lift is available to Court 3.

#### *Historic collections*

3.2.9 In the Shire Hall, artefacts include ceremonial pikes, rods formerly used for handing jury decisions down into the court, gasoliers (now converted to electric lighting) and Chinese vases (Warwickshire Museum 2006, 50-59). Courts 1 and 2 both have carved coats-of-arms behind the judges bench. Elsewhere in the court facilities are a number of paintings including Warwickshire views, Warwickshire notables including the noted foxhunter John Corbet and his foxhound Trojan, and scenes from Shakespeare's *As You Like it*, and part of the collection of portrait photographs of former High Sheriffs of Warwickshire (Warwickshire Museum 2006, 48-49, 60-68, 284). Some of these items relate to the use of the building (such as the gasoliers, clocks, pikes and rods), some are decorative with Warwickshire connections, and others (such as the Chinese vases) are merely decorative.

#### **Former Gaol and 1932 offices** (Listed Grade I, LBS 307589)

##### *External description*

3.2.8 The former County Gaol, later the Warwickshire Militia Barracks, was rebuilt between 1779 and 1783 in Greek Doric neo-classical style and is one of the earliest Greek Revival buildings in England. The façades were retained and adapted when the rest of the building was demolished and replaced with offices between 1929 and 1932. To Northgate Street it has a two-storey main facade of sandstone ashlar with attached two-storey Doric half columns and full entablature, a recent plinth of Hornton stone and 1930s metal casement windows below a slate roof. The central portion is pedimented and slightly projecting, with three semi-circular headed openings giving access to the offices and courtyard behind. There is an extension of



A. Northgate Street elevation



B. Barrack Street elevation

Fig 72: Former Gaol and 1932 Offices



A. Barrack Street, cell door re-sited in 1930s



D. Inner quadrangle, central wing



B. Barrack Street, former entrance



E. Outer quadrangle, north entrance



C. Inner quadrangle, original main entrance



F. 17th-century dungeon below outer quadrangle

Fig 73: Former Gaol and 1932 Offices



A. Circulating area 2570, entrance including lift cage detail on left



D. Circulating area 2570, corridor and war memorial window



B. Circulating area 3670, stair and lift cage detail



E. Room 2620 (former Chief Executive's office)



C. Meeting Room 3550



F. Room 2620 as built

Fig 74: 1932 Offices



A. Typical large office interior



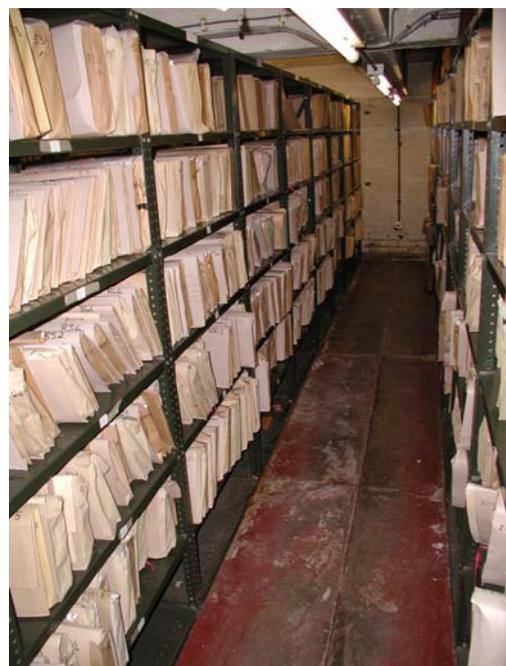
F. Typical small office interior



B. Typical large office interior



C. Typical large office interior



E. Basement document storage (bottom shelves empty as flood precaution)

Fig 75: Former Gaol and 1932 Offices

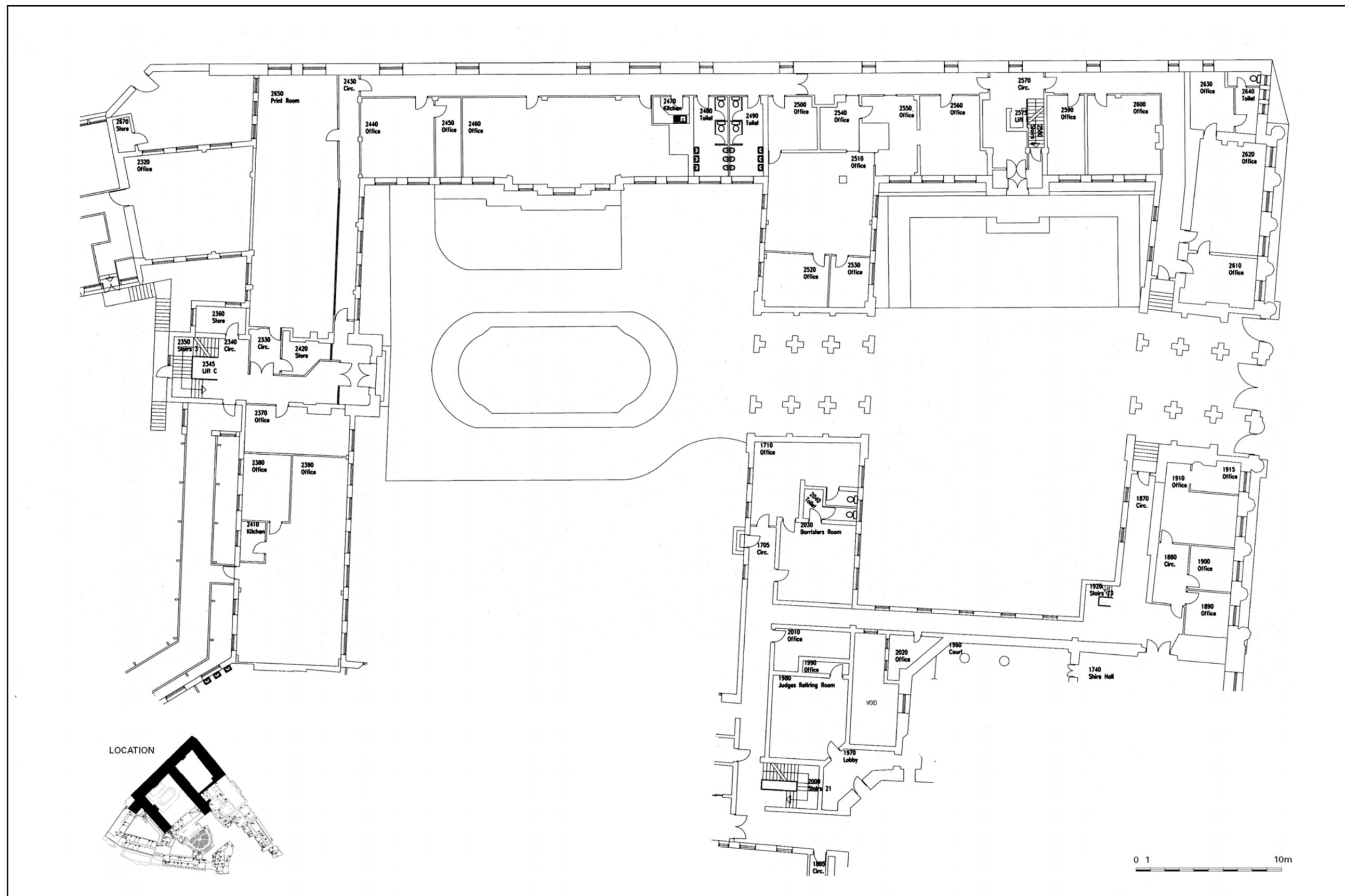


Fig 76: 1932 offices, ground floor plan

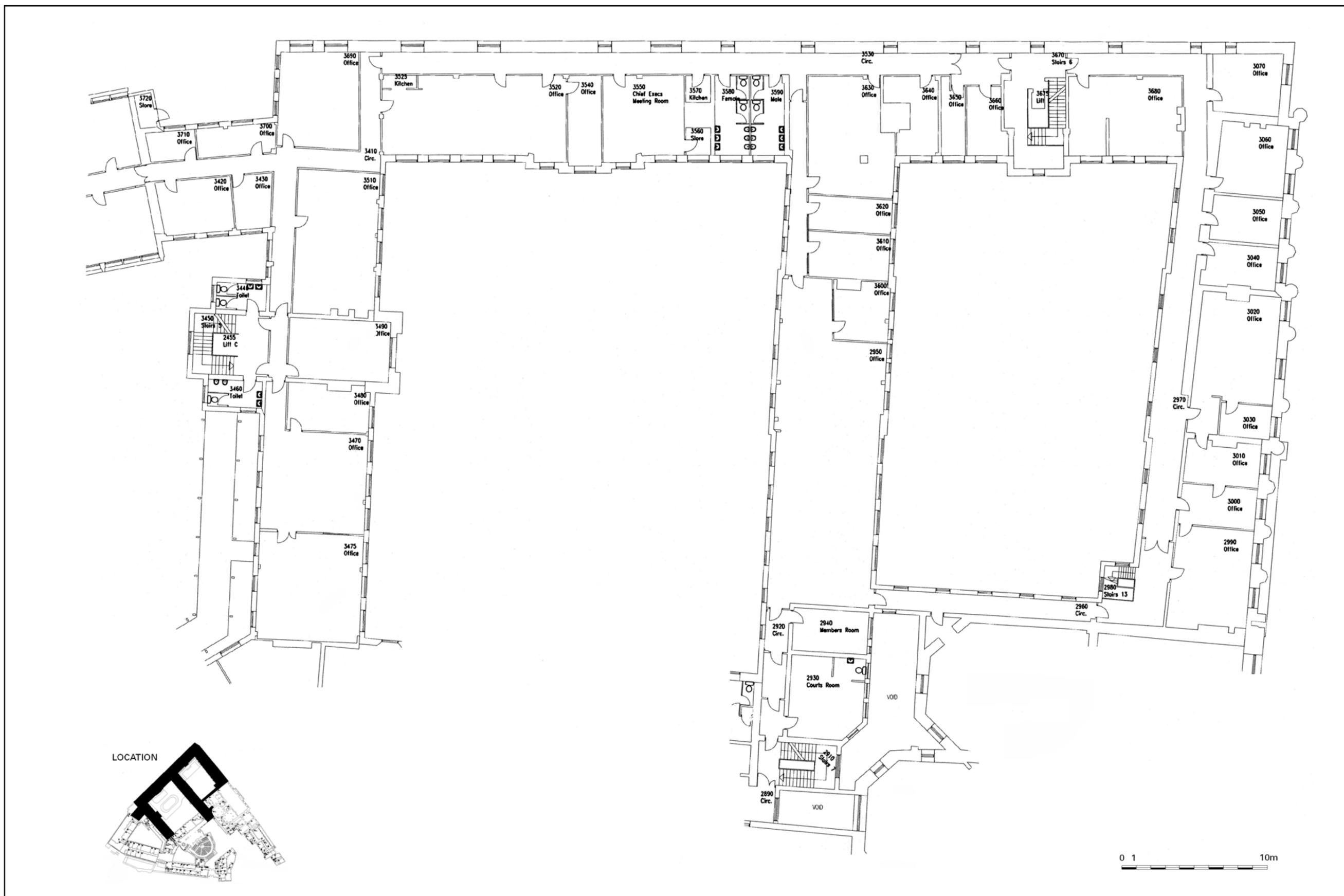


Fig 77: 1932 offices, first floor plan

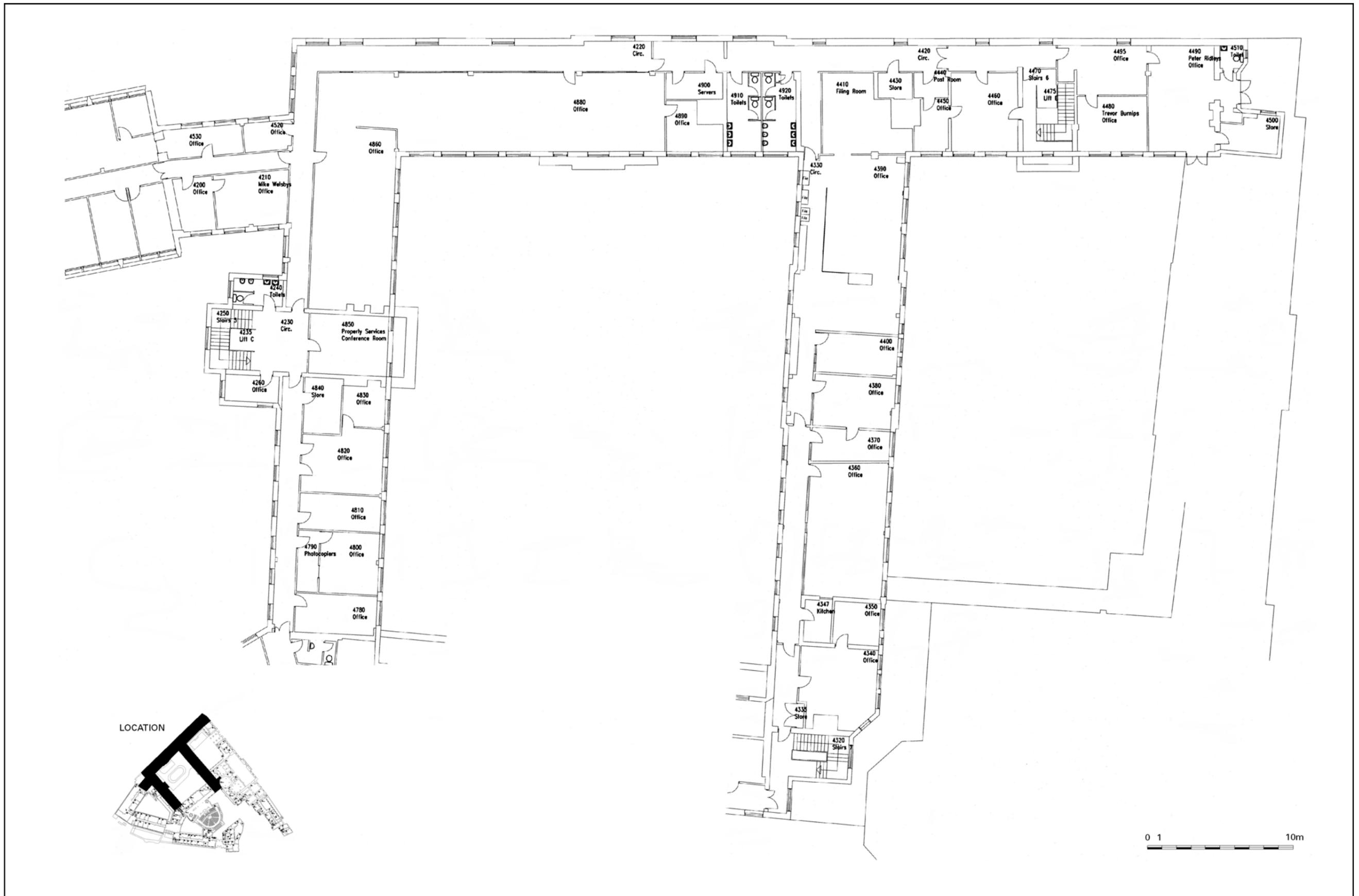


Fig 78: 1932 offices, second floor plan

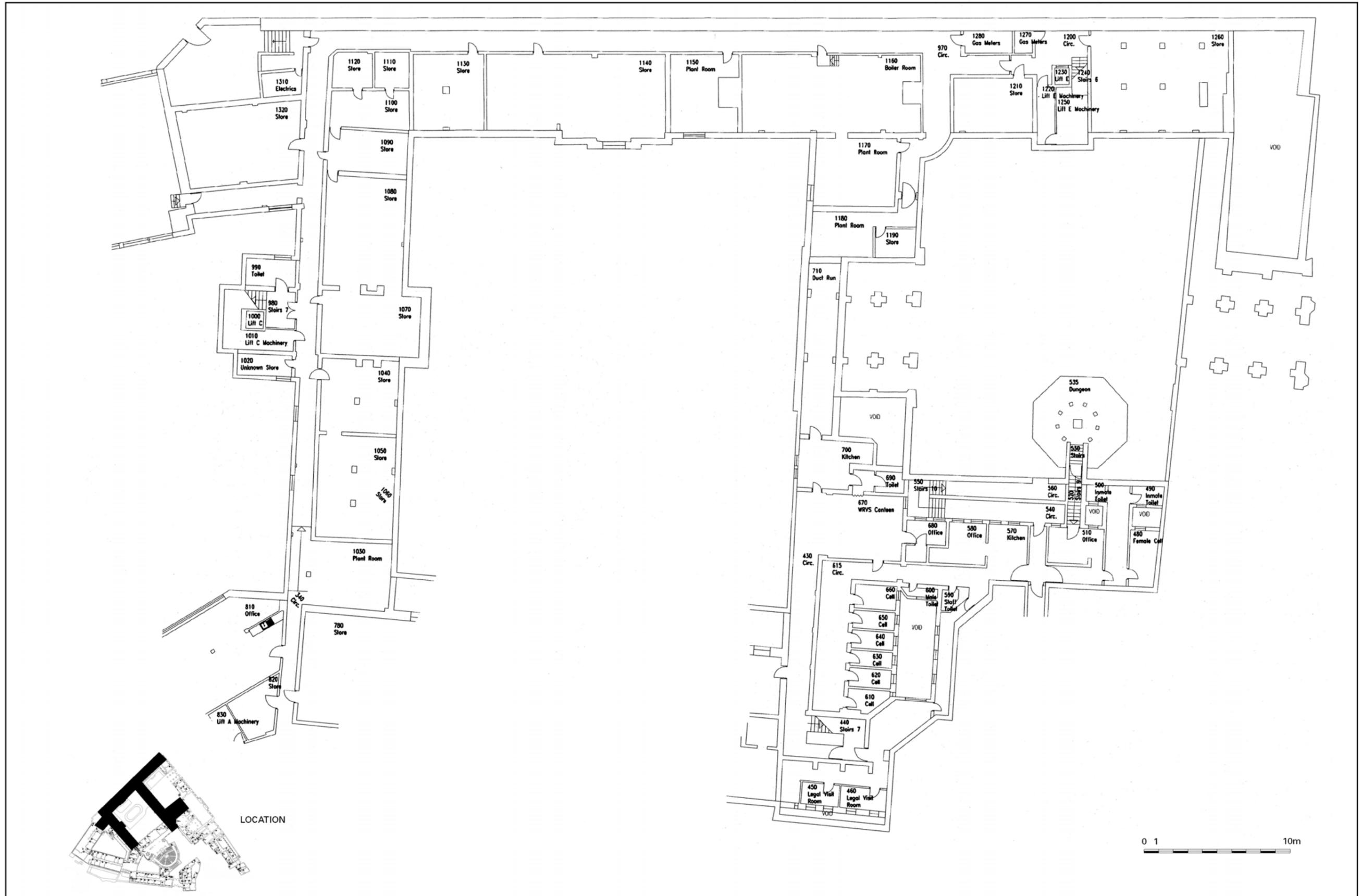


Fig 79: 1932 offices, basement floor plan

1790-93 to the north in sandstone ashlar (a continuation of the Barrack Street elevation) which has a semi-circular arch moulding above the ground floor windows and 1930s metal casement windows.

3.2.9 The Barrack Street elevation is mostly of plain sandstone ashlar, and dates from 1790-1793. It was originally blank except for windows flanking the central gateway arch and was retained, with metal casement windows inserted, when the remainder of the building was demolished and the present three-storey offices constructed to the rear. The central gateway projects slightly and has three semi-circular headed arches on the ground floor between plain square pilasters. The central arch was originally the entrance to the former courtyard, and is now blocked with brick; the condemned cell and gallows were formerly adjacent to this entrance. One of the cell doors from the original 17th-century gaol was set in the wall at the east end in the 1930s.

3.2.10 The 1930s offices behind the 18th-century facades are of brick with sandstone detailing, slate roofs and metal casement windows, and were designed by the County Architect, A.C. Bunch. The Northgate Street entrance (in the original façade) is the eastern end of the central axis of the plan, which runs north-east to south-west with the buildings arranged to form two quadrangles. The outer quadrangle, immediately inside the Northgate Street entrance, is the smaller. The central range, which divides the two, has a stone central section on ground and first floor levels, with a wide central arch for vehicle access and two smaller pedestrian arches either side giving access to the larger inner quadrangle. At the western end of the axis, facing Northgate Street in the western range of the inner quadrangle, is the original main entrance to the offices, in stone with a large semi-circular arch over the door and the County coat of arms above; this was replaced as the main entrance by the present Market Place entrance in 1966. There are a number of surviving original fittings, such as the ornate lights either side of the former main entrance (Fig 73C), and simpler ones in the arches. The southern range of the inner quadrangle of the original scheme, including a new Council Chamber, was not built due to financial pressure, and was eventually completed to different designs with the present Council chamber in 1958 and offices in 1966 (see section 2.2 for detailed history).

3.2.11 The inner quadrangle has a central pond, built as a storage tank to provide a reserve of water in case of fire but designed to be an ornamental feature with fountain, and the outer has an open steel grille above the 17th-century dungeon.

#### *Internal description*

3.2.12 As is to be expected in buildings designed and built to a coherent overall plan, the interior is all in a similar style, with a small number of rooms, such as that of the Clerk to the Council, until recently occupied by the Chief Executive, fitted out to a higher standard. There has been some modernisation and rearrangement of internal divisions, but in most areas the original arrangement, with rooms of varying sizes accessed by corridors along the long axis of the building, still survives. A few areas have been converted into open plan offices with no separate corridor.

3.2.13 Although most rooms are plain, some of the surviving detailing in the common areas shows *art deco* influences, although not at its most flamboyant. This is most noticeable in the stairs in circulating area 2570, which have metal balustrades with diagonal crosses between vertical bars, and the lift enclosures which feature arrangements of vertical and horizontal bars with geometric motifs (Figs 74A, B). Original lobby doors and arched openings survive. The corridor inside retains original imitation marble wall covering, and a stained glass memorial window (Fig 74D) to the brothers Edward and Sydney Field, who served successively as Clerk to the Council between 1904 and 1926 (their father, Algernon Sydney Field, having been

Clerk from 1889 to 1904). In general it is the common areas that retain more of the original features than the individual rooms.

3.2.14 The former Chief Executive's office (Room 2620, ground floor north-east corner) has a number of original features and also retained some of its original furniture. There is a cornice and picture rail all round. The fireplace is sandstone with an integral stone mantel; the ceramic tile fire surround is a later addition, as is the county bear-and-ragged-staff emblem. At the time of inspection the desk was the original, with a new or altered top, and a row of cupboards along the west wall survived although the glass-fronted cabinets formerly above them had gone, as had the original ornate *art deco* light fittings (Figs 74E, F).

3.2.15 Many of the offices retain original picture rails in whole or part, but in general there are few fittings characteristic of their original date. The majority have plain painted walls and ceilings, with modern lights and other details. Some rooms have been updated with features such as suspended ceilings and modern fire doors as necessary.

3.2.16 There are extensive basements, some used for document storage. In the basement level adjacent to the Shire Hall and the courts are the cells, accessed by stairs from the courts. These are mostly 20th-century in detailing, although there is at least one early door, no longer in use, that probably dates back to the 18th-century gaol, and may even be a re-used relic of the 17th-century gaol.

3.2.17 Also preserved below ground level, visible below an open grille in the courtyard but accessed by stairs from the courts, is the dungeon which dates from 1680. This is octagonal and retains fittings for the shackling of prisoners (Fig 73F).

#### *Main condition / health and safety / access issues*

3.2.18 No significant condition or health and safety issues were noted. Wheelchair access to the ground floor is available and there are lifts to all floors. There is general dilapidation and tiredness of décor after some 75 years of use, and a need for refurbishment and redecoration.

#### *Historic collections*

3.2.19 The Collections Inventory (Warwickshire Museum 2006) does not cover items in the offices. However, the corridor in the Chief Executive's area (to Room 2620) has a number of framed early maps, including Speed's 1610 map of Warwickshire, which will be of some value and historic interest. There are also a number of architect's art drawings in various locations, which are of historic interest although of no great financial value. Some offices are also decorated with original prints and maps.

#### **1958 Council Chamber and Offices** (Considered as Listed Grade I, as extension to LBS 307589)

3.2.20 Designed by the County Architect G R Barnsley, and formally opened in 1958, the Council Chamber and Offices fronting Old Square were envisaged as the first stage of the larger programme intended to complete the south side of the inner quadrangle left unfinished in the 1930s, and provide the Market Place entrance proposed in 1937, although to a different design. Again, however, only the first stage was built as designed, and the programme was eventually completed in 1966 with the formal opening of three further wings to an updated design.

#### *External description*

3.2.21 The exterior of the Council Chamber was deliberately kept plain as it is not



A. Council Chamber today



B. Council Chamber as built



C. Fixed furniture showing condition

Fig 80: 1958 Council Chamber



A. Front elevation (1966 main entrance to left)



B. Typical office interior



C. Typical office interior

Fig 81: 1958 Offices

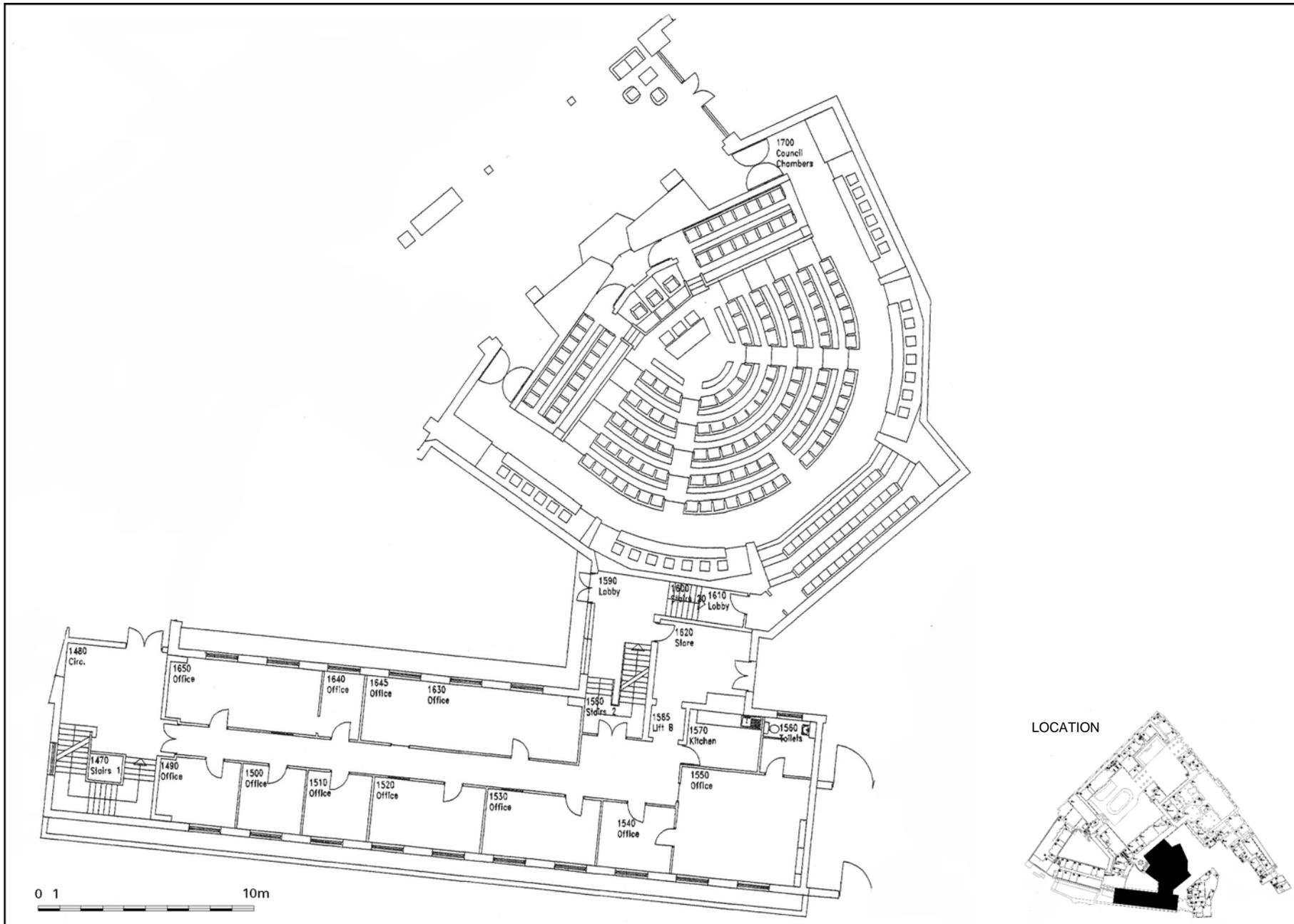


Fig 82: Council Chamber and 1958 offices, ground floor plan

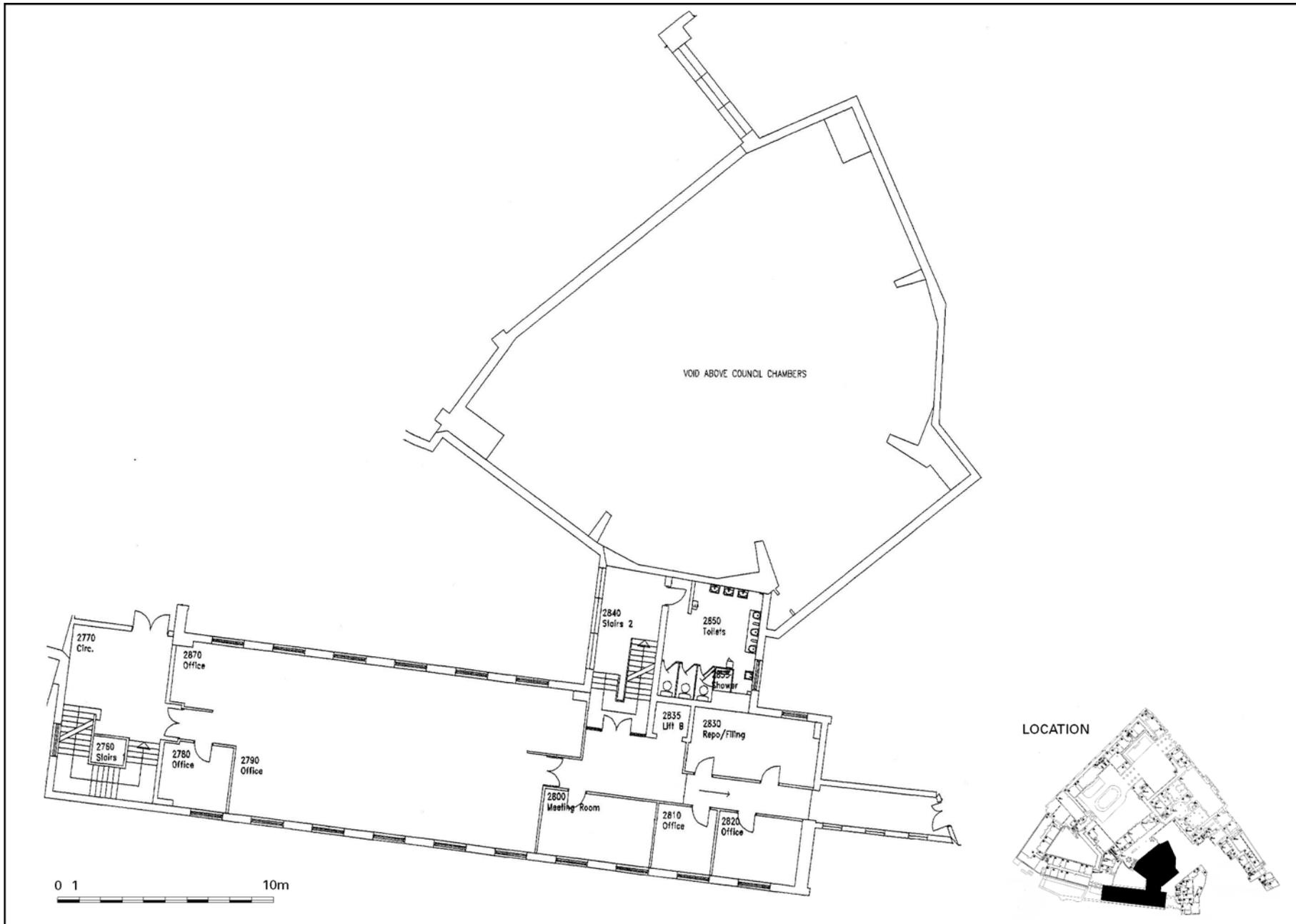


Fig 83: Council Chamber and 1958 offices, first floor plan

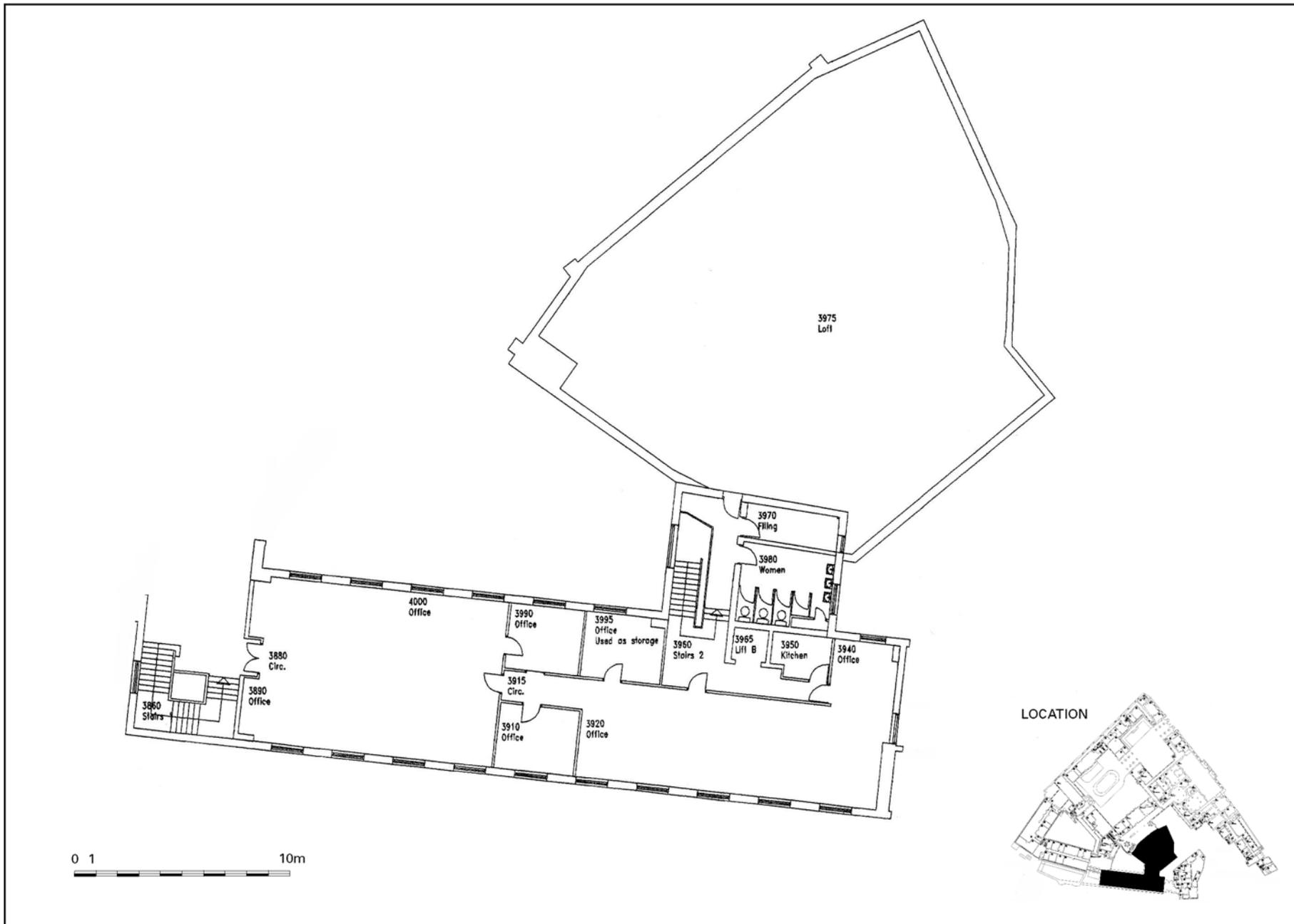


Fig 84: Council Chamber and 1958 offices, second floor plan

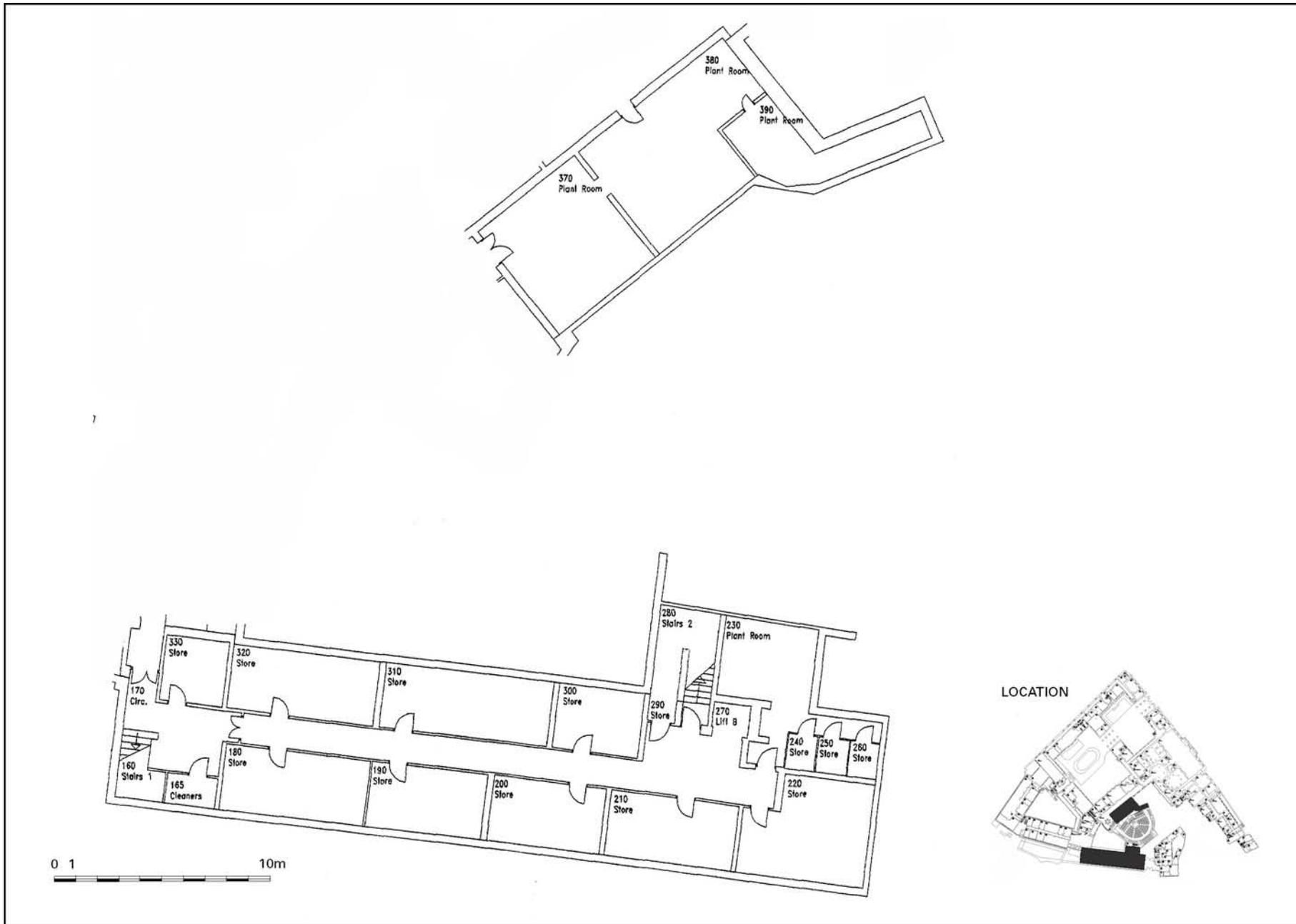


Fig 85: Council Chamber and 1958 offices, basement floor plan

visible from the street or (as completed) the inner quadrangle. The main structural interest is in the roof, which was thought to be unique at the time and is constructed of concrete slabs supported by concrete beams radiating from a nucleus near the centre of the roof and resting on the walls. Its design used the latest contemporary post-stressed concrete techniques and the structural calculations were done by what the brochure produced for the formal opening refers to as an 'electronic brain', a very early example of the application of computer technology and indicative of decidedly progressive thinking by the County Architect.

3.2.22 The 1958 offices fronting Old Square are of three storeys plus basement with a mainly brick front elevation, metal windows and shallow pitched slate roof. The western end of the front elevation is faced with Hollington sandstone, and has no windows. The short west elevation faces the steps to the present main entrance, and is of Hollington sandstone with a metal framed window on each of the three storeys, illuminating the main staircase. There is a first-floor link to the offices in the former Coffee Tavern to the south-east.

#### *Internal description*

3.2.23 The Council Chamber (Fig 82, Room 1700) is the full height of the building, with walls faced with hand-made grey brick. The fixed furniture (Fig 80C) was also designed in the County Architect's department, with seating laid out in a semi-circle facing a dais with seating for the Chair of the Council. Behind the dais is a walnut screen on which is the county coat of arms carved in timber by W. Ritchie, and the floor in front is of Hornton stone. The large windows contain sixteen specially commissioned engraved panes by W. Stanier, inspired by a 15th-century manuscript of the local chronicler John Rous. Natural and artificial light also enters from an anodised aluminium lay-light in the ceiling.

3.2.24 The 1958 design incorporated an ante-chamber giving access to the main Council Chamber. This was extended and considerably altered in the 1960s work, and is described with the latter below.

3.2.25 The office block has stairs at the west and north-east, with a lift adjoining the latter. The basement is laid out with small rooms either side of a central corridor, and the ground floor is the same basic arrangement although some of the rooms are larger. On the upper floors the layout is more open plan with many internal divisions removed, although elements of the axial corridors survive. The interior is generally plain painted plaster surfaces, with some modern alterations such as suspended ceilings.

#### *Main condition / health and safety / access issues*

3.2.26 No significant condition or health and safety issues were noted. Wheelchair access to the ground floor is available, although the stepped arrangement means that the Council Chamber is not fully accessible, and there are lifts to all floors. The furniture, particularly the leather seating, is shabby and worn, and there is a general need for redecoration.

#### *Historic collections*

3.2.27 The coat-of-arms (by Walter Ritchie) and engraved windows (by W. Stanier) in the Council Chamber are included in the inventory. Its windows have period curtains thought to have been designed by Tibor Reich. Similar curtains were originally found throughout the building but those in the Chamber, which are in poor condition, are the only survivors. Items in the Ante-chamber are described in section 3.2.36 below.

**1966 Committee Rooms, Ante-chamber extension and Offices** (Considered as Listed Grade I as extension to LBS 307589)

3.2.28 Completed and formally opened in 1966, this phase consists of three wings and was designed by Barnsley's successor as County Architect, Eric Davies. One of these is not visible from the street, and completes the southern side of the inner quadrangle. Containing committee rooms and ancillary facilities to serve the council members, as well as offices, it is joined to the original 1958 ante-room to the Council chamber which was opened out to form an extended ante-chamber, corridor and circulating area. Of the other two wings, one is parallel to Barrack Street and contains offices, and the other faces Market Place and includes offices and the present main entrance.

*External description*

3.2.29 The wing adjoining the Council Chamber has loadbearing walls (rather than a concrete or steel frame) to reduce internal sound transmission (WCC 1966), and is of three storeys plus basement. The north elevation, to the inner quadrangle, is faced with Hollington stone on the ground and first floors, and has a cantilevered projection with abstract ornamental panels over central doors. The panels were designed by E. Davies and A. Merricks, and feature the County bear-and-ragged-staff emblem in a roundel. Other geometric shapes represent standing committees of the council, and vertical and horizontal bars the constituent boroughs, urban districts and rural districts in the historic county (Noszlopy 2003, 107). There is a mainly glazed second floor above. The remaining external elevations are brick with metal windows except those to the ante-chamber between the Council Chamber and the main wing, which are glazed to full height.

3.2.30 The wings facing Barrack Street and Market Place are of three main storeys with a fourth roof storey above. There is a full basement plus a second lower basement below the Barrack Street wing. The front elevations reveal the concrete frame construction, and the cladding is of Hollington and Hornton stone. The main entrance, in the Market Place frontage adjoining the western end of the 1958 offices, is approached *via* wide steps and is set back slightly. It has a canopy over the doors, and the infill panels below its first and second floor windows are in dark glazing instead of stone, with the County Council coat of arms (by Walter Ritchie) in the centre. There is an ornamental pond to the left of the main entrance, with mechanical statues of herons fishing (by R. Higgins) added in 2000. There is a secondary entrance, not open to the public, at the junction of the two wings, below a bridge linking the building to Abbotsford House (No 10 Market Place).

*Internal description*

3.2.31 The main reception area, entered from Market Place, has marble floors and walls and contains reception facilities and a lift (Fig 89, Room 1660). Corridors lead to the Council Chamber Ante-chamber and members facilities, and to the 1930s offices to the rear, the 1958 offices to the east and the 1966 offices to the west.

3.2.32 From the main entrance, a corridor leads to an Ante-chamber which provides access and a circulating area to the Council Chamber (Room 1690). Originally dating from 1958 it was extended and joined to the new work in 1966. It has glazed ends and a gallery at first floor level, approached by a circular staircase of 1966 finished with white and green marble, both gallery and stairs having specially designed nickel-silver balustrades. There are contemporary suspended multiple light fittings. The area remains a substantially unaltered example of 1960s civic architecture and design.



A. Market Place elevation



B. Barrack Street elevation

Fig 86: 1966 Offices



A. Elevation to inner quadrangle



C. Ante-chamber, east end



B. 1966 main entrance reception area



D. Ante-chamber and corridor



C. Ante-chamber, west end



E. Committee Room 2

Fig 87: 1966 Reception Area, Committee Rooms and Ante-chamber



A. Courtyard behind main entrance (1932 brick elevation to left)



D. Typical large office



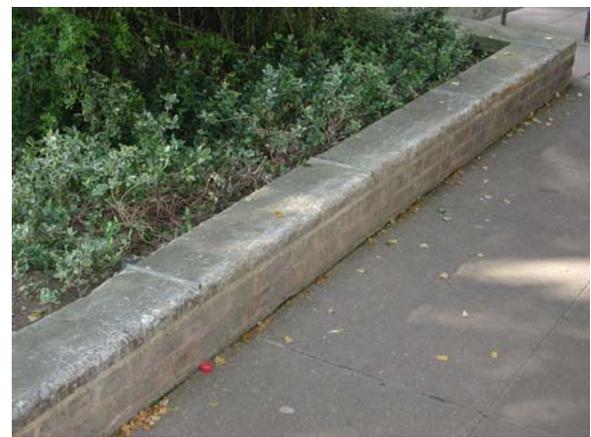
B. Typical corridor



E. Typical small office



C. Typical large office



F. Skateboarding damage to landscaping walls

Fig 88: 1966 Offices

3.2.33 On the ground floor to the north of the ante-chamber are rooms for the Chair of the Council (Room 2070), Chief Executive (2080) and Council Leader (2120). There is also a large central room, now used as a committee room, with glazed doors leading out to the inner quadrangle. Above these on the first floor are Committee Rooms 1-3. The largest (Room 3240) is in the centre, and extends into the cantilevered projection over the external doors of the ground floor office. It has timber panelling on the walls and its layout is similar to that of the main council chamber but on a smaller scale, although the original raised dais at the focal point has now been replaced by seating and a table at the same level as that in the rest of the room. The smaller committee rooms are also panelled, and have moveable furniture arranged round a central table. At the south-west of the wing are smaller rooms for the use of political groupings.

3.2.34 The layout of the 1966 offices is similar in principle to those of 1958, with offices of varying sizes arranged either side of a central corridor, and again designed to permit flexibility by the use of easily removable internal divisions. The third storey fronting Market Place is entirely open plan. The interior is generally plain painted plaster surfaces, with some modern alterations. The second (lower) basement below the Barrack Street frontage was the Cold War bunker, which replaced the former Civil Defence centre below the Museum Field Services offices in The Butts (see Area C). It is now occupied by the Emergency Planning Section, and retains original gas-tight doors (no longer operational), an escape hatch and generator in addition to the telecommunications and other equipment installed in the 1980s and 1990s modernisations (Subterranea Britannica 2001).

#### *Main condition / health and safety / access issues*

3.2.35 No significant condition or health and safety issues were noted on inspection, although there is a known problem with heat gain on the Market Place frontage. Wheelchair access to the main entrance in Market Place is not possible as there is no ramp and the only means of entrance is *via* steps, although can be gained elsewhere on the ground floor. The lifts only serve the basement to second floors; the third floor lift space is the motor room.

#### *Historic collections*

3.2.36 The 1958 and 1966 elements of the Ante-chamber are considered together. It contains a series of paintings of British kings and queens, mainly acquired in the 1950s and 1960s, and there are 18th-century and contemporary tables (Warwickshire Museum 2006, 3-11, 45-47). The Chairman's Room (2120) contains a varied collection, including an important view of Warwick Castle by a follower of the Flemish painter Tillemans (c.1684-1735), Chinese and other ceramics, presentation silverware, and figurines as varied as Lady Godiva and the Warwickshire bear-and-ragged-staff. The Committee Rooms and Ante-chamber have paintings and notable items of furniture (Warwickshire Museum 2006, 22-44).

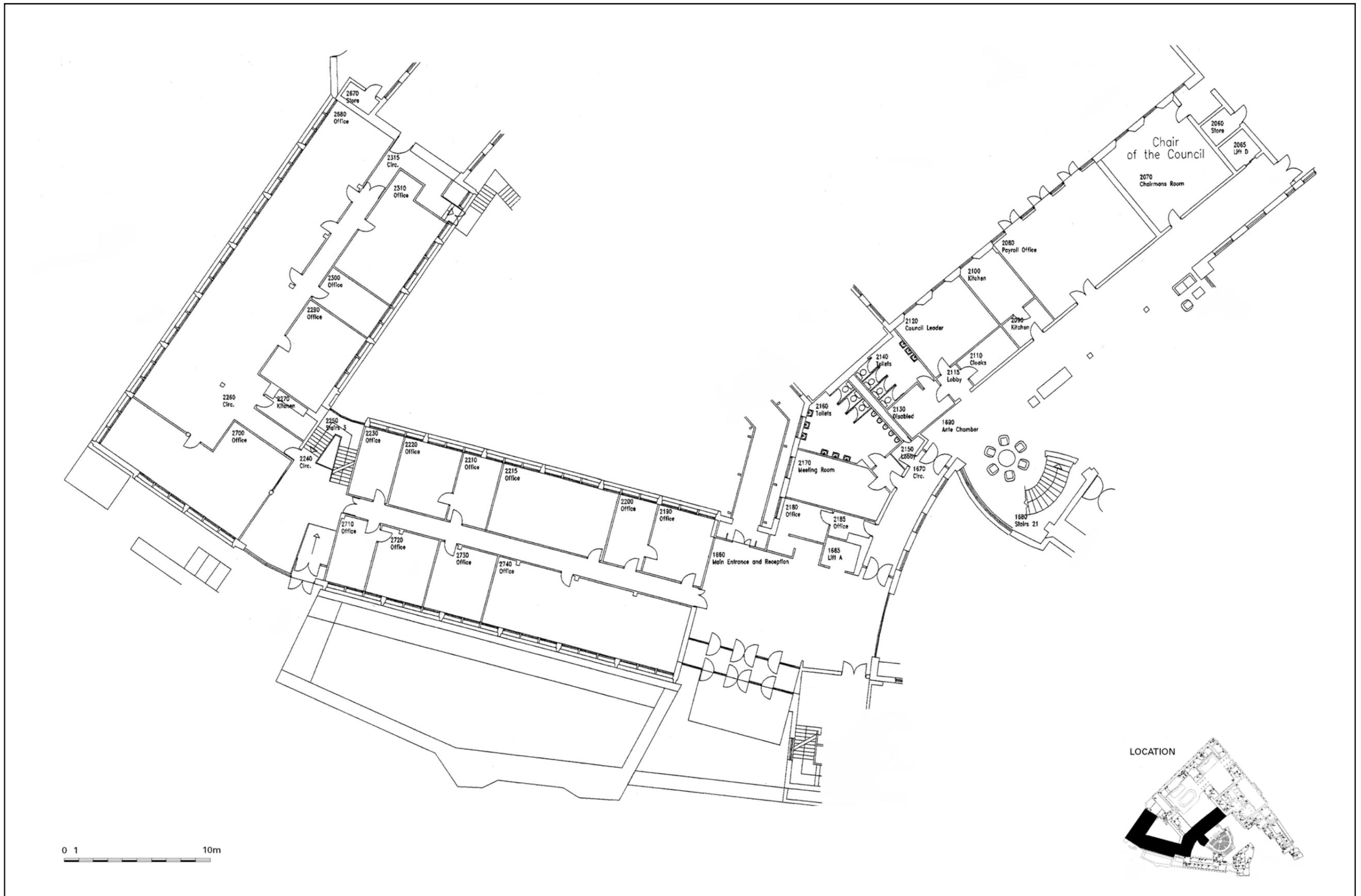


Fig 89: 1966 Committee Rooms, Ante-chamber and Offices, ground floor plan

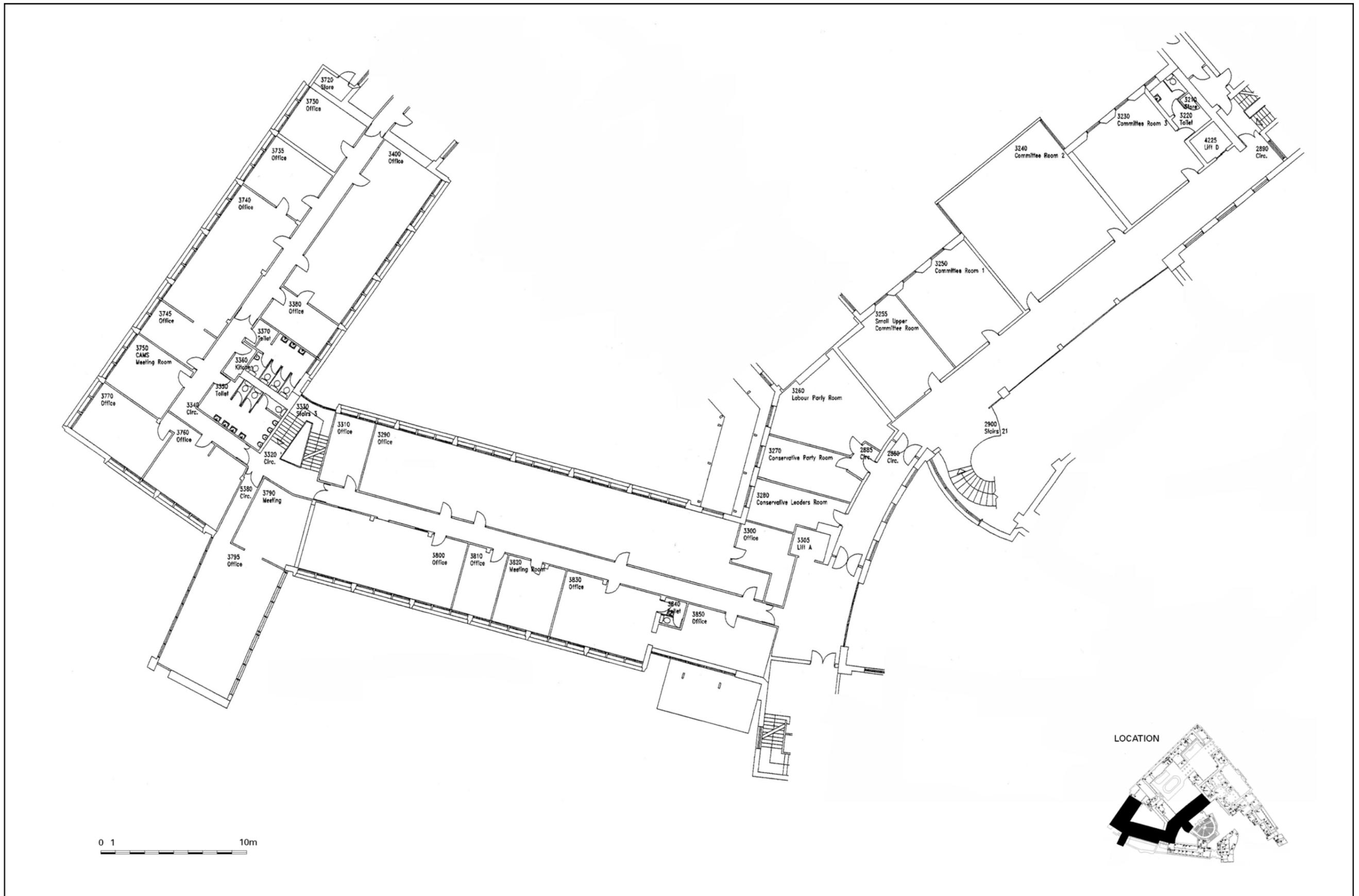


Fig 90: 1966 Committee Rooms, Ante-chamber and Office, first floor plan



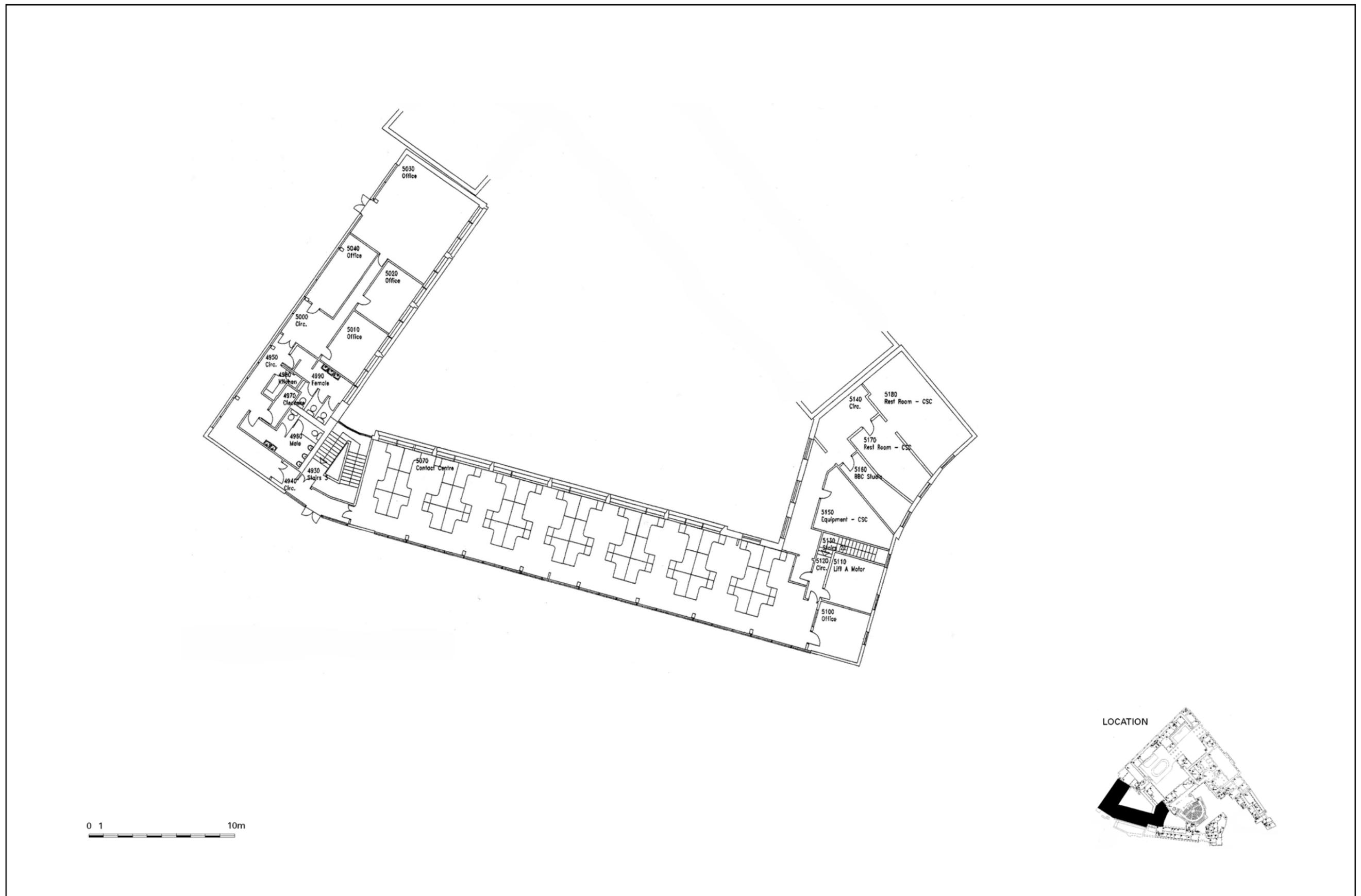


Fig 92: 1966 Committee Rooms, Ante-chamber and Offices, third floor plan

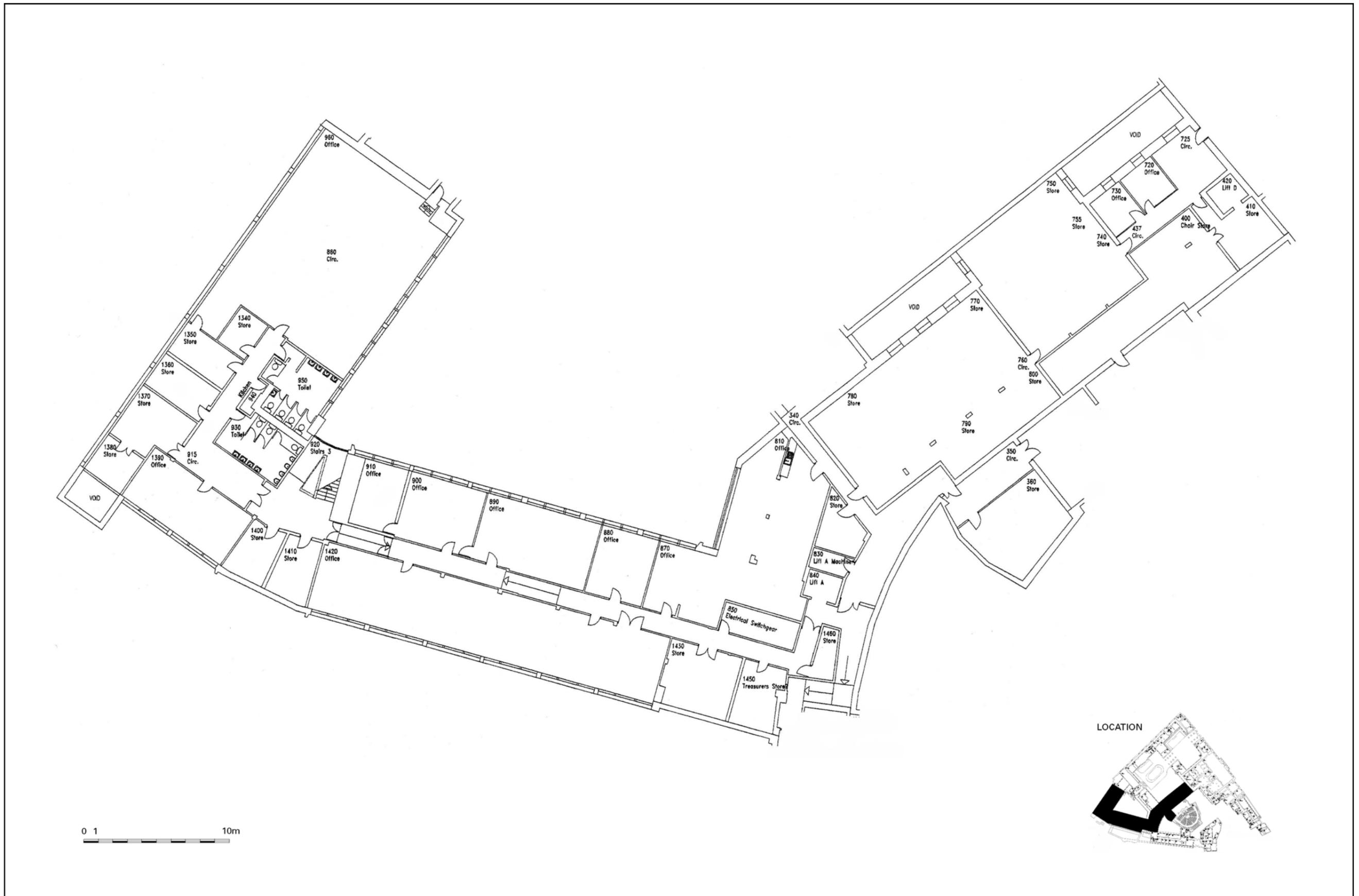


Fig 93: 1966 Committee Rooms, Ante-chamber and Offices, basement plan

**Judges' House and Lodgings, 7-9 Northgate Street** (Listed Grade II, LBS 307587)*External description*

3.2.37 The Judges' House was built in 1814-16 to the designs of Henry Hakewill, and has two storeys, basement and a slate roof behind a low parapet. The frontage is sandstone ashlar with plain wide pilasters either end, and in the centre is a Greek Ionic porch approached *via* a short flight of steps to a two-fold six-panel door. The masonry has horizontal channels on the ground floor and a moulded band at first floor sill level. The windows are sashes, with first floor architrave surrounds. There are narrow flower beds and a cellar access between the building and the back of the footpath. The original rear wing was demolished around 1955 for the construction of the new Council Chamber.

3.2.38 The Judges Lodgings were extended to the south in two stages: in 1955 when the former No 7 was demolished and replaced, and in 1963 replacing the former Nos 3-5. The two phases of extension are identical in design and give the appearance of a single build. They are of two storeys plus attic, with a stone ashlar front elevation and slate roof, and as an extension to the original building are also covered by the Grade II Listing. The second storey has dormers in the roof, and the architectural style is clearly based on the late 17th-/early 18th-century houses that it replaced (and those surviving elsewhere in Northgate Street). It provides office and catering facilities as well as living accommodation.

*Internal description*

3.2.39 The original Judges' House has been carefully maintained and although there have been some alterations it retains many original features, of which representative examples are described here. The principal rooms have cornices to the ceilings, picture rails and/or dado rails. The wall coverings are generally modern wallpaper, and there has been no attempt to follow historically authentic decorative schemes. There are no significant features in the modern extensions.

3.2.40 The staircase is of open well, open string construction with simple square-section balusters and curved section handrails; there is a dado rail on the wall. On the ground floor, the High Sherriff's Room (Fig 96, Room 1780) has a marble fireplace, dado rail and cornice with simple moulding all round. On the first floor, the Drawing Room (Room 3130) has a similar cornice all round and a marble fireplace. The Dining Room (room 3140) has a dentil moulded cornice with picture rail and a marble fireplace. There is a door in the north-west corner of the room giving access to both the main and rear stairs, and there is also door to the main stair area (3120) which is larger and more impressive, and was the original main door though it is not currently in use. There is a door to the Drawing Room and modern inserted doors to the servery (Room 6100) in the new extension. The basement has brick and stone shelving, and a number of the areas have modern steel barred security doors. It is used for storage of documents and as a wine store.

*Main condition / health and safety / access issues*

3.2.41 No significant condition or health and safety issues were noted. The front doors in both the original house and the modern extension are approached *via* a flight of steps and are not wheelchair accessible. Level access to the ground floor is available *via* a corridor from the adjacent offices.

*Historic collections*

3.2.42 The Judges' House and its modern extension contain an extensive collection of royal and other portraits, including Sanderson Miller (the architect of Shire Hall),



A. Front elevation, 1814 house (1955 entrance on left)



B. Front elevation, 20th-century extensions

Fig 94: Judges' House



A. Room 1780 (High Sherriff's Room)



D. Room 5950 (main kitchen)



B. Room 3130 (Drawing Room)



E. Basement document storage (access from No 1 Northgate Street)



C. Stairs (from ground floor)



F. Basement wine cellar

Fig 95: Judges' House

and much 18th- and 19th-century furniture bought for and appropriate to the building. The modern extensions have contemporary furniture. Miscellaneous items include a stuffed bear, clocks and sculpture, and those portrait photographs of High Sheriffs not in the Grand Jury Room of the Courts (Warwickshire Museum 2006, 69-277). The Judges House also houses the Warwickshire Justices' Plate Collection, largely made up of items presented by past Justices and including cutlery, table decorations, a replica of the Warwick Vase of 1811 by Paul Storr (Inventory ref 74) and a notable George III snuff box (Inventory ref 3E).

### **1 Northgate Street** (Listed Grade II, LBS 307586)

#### *External description*

3.2.43 Built in the late 17th or early 18th-century after the Fire, this has two storeys with basement and attic. The front elevation is brick with a moulded cornice and first floor stone band. The north wall is now an exposed gable and is modern, probably a facing on the original beneath. The roof is tiled with two gabled casement dormers. The windows are sashes under flat arches with keystones, and have stone sills.

#### *Internal description*

3.2.44 The main elements of the internal plan are substantially unaltered, and a number of early features remain. These include the original stairs, which are of dog-leg closed string construction with barley twist balusters; the treads and risers are modern replacements. On the ground floor Room 5550 has an original, or possibly 19th-century, cupboard to the left of the chimney breast (the fireplace has been removed). Room 5560 has a 19th-century marble fireplace, and on the first floor Room 5620 has an original fireplace.

#### *Main condition / health and safety / access issues*

3.2.45 No significant condition or health and safety issues were noted. There are two steps up to the front door, and the upper floors are not wheelchair accessible.

### **16 Old Square (former Coffee Tavern)** (Not Listed)

#### *External description*

3.2.46 Built in 1880 as a Temperance Hotel and Coffee Tavern by Thomas Dale to the design of Frederick H. Moore (Figs 102, 103), the building has three storeys plus basement and a tile roof. The front elevation is brick with terracotta decorative work including the words "Coffee" to the left of the third floor windows and "Tavern" to the right, with the date AD 1880 below. There is a decorative cornice and decorative bands at first and second floor levels, and between the springing point of the window arches on the ground and first floors, with floral patterned terracotta panels above the doors.

3.2.47 The two large ground floor windows have timber mullions and transoms below painted stone decorative arches with large single panes below the transom and small panes above, the latter stained with a floral design. The main door to the left of the windows has similarly decorative jambs and semi-circular head, and there is a smaller door to the right which has a decorative brick semi-circular arch. The smaller door does not appear on the architect's drawings, but looks to be an original feature and probably represents a late amendment. The first floor windows are





A. Front elevation



D. Room 5620, fireplace



B. Room 5550, early cupboard



E. Stairs



C. Room 5560, fireplace



F. Basement

Fig 97: 1 Northgate Street

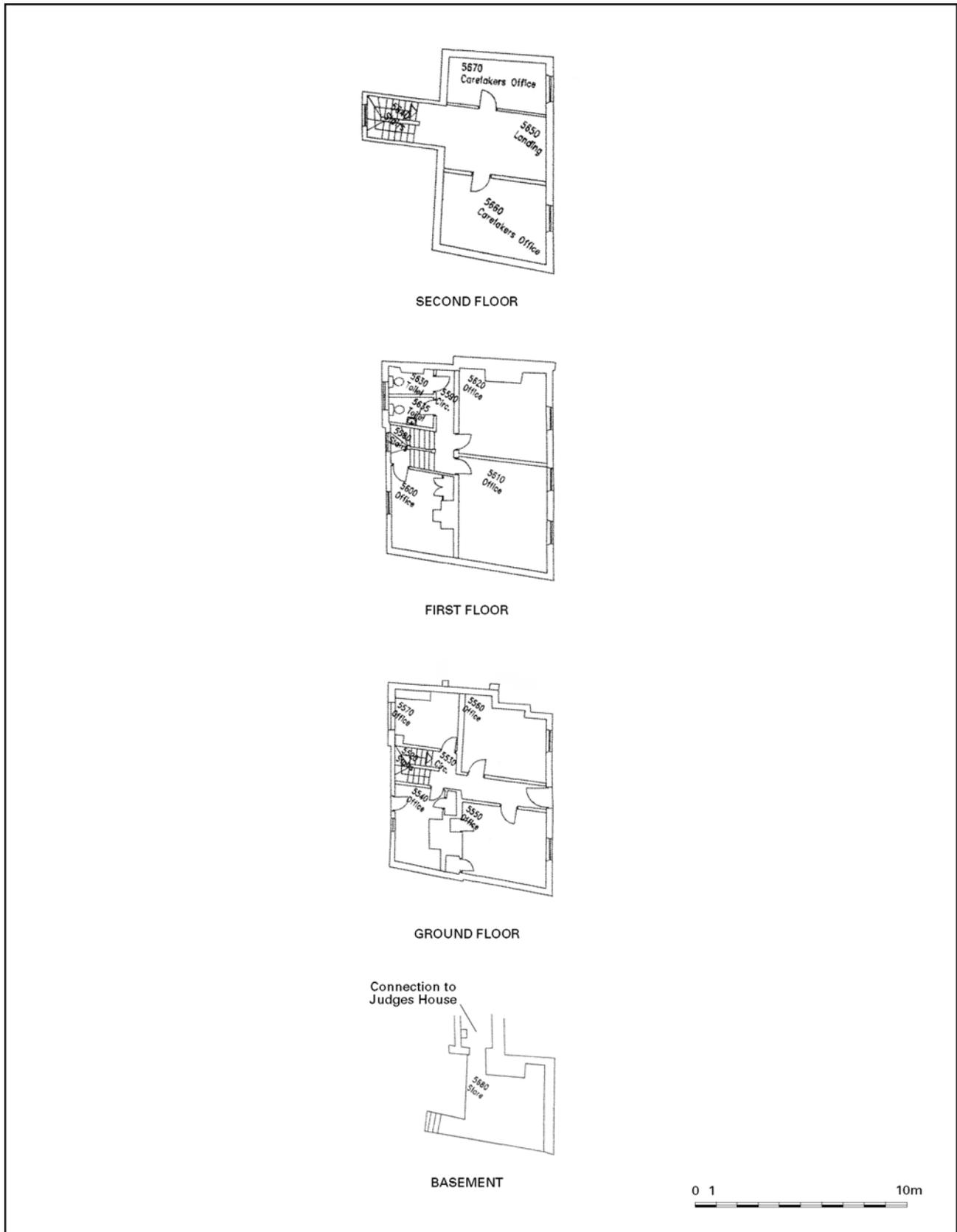


Fig 98: 1 Northgate Street, floor plans

smaller but also mullioned and transomed, below semi-circular arches again with probably stucco decoration and again with the small panes above the transom and large below. The third floor windows are mullioned rectangular sashes below horizontal stone or possibly concrete lintels; the upper sashes have small panes and the lower larger, reflecting the pattern in the lower windows. The window sills are decorative. The frontage is substantially unaltered, with only minor changes to the first floor windows for the insertion of opening casements in three of the four.

3.2.48 To the rear is a courtyard with outbuildings. The elevation of the main building is brick. On the ground floor there are two windows with brick segmental arched lintels and sash windows, and two with semi-circular brick arches and casement windows. The first floor has five of the same type of semi-circular headed

casement window, and the second floor five rectangular sash windows below flat stone lintels.

#### *Internal description*

3.2.49 The staircase is dog-leg with half-landings, typically Victorian barley twist balusters and very substantial square section newel posts with single flutes and ball-and-pedestal finials. The treads and risers are modern.

3.2.50 The original large rooms on the ground and first floors have been sub-divided with modern partitions, but much of the detailing survives. The former ground floor front room (formerly the Bar) is now divided into a circulating area, reception desk and an office. It has original stained glass in the windows, and geometric moulded plaster decoration on the ceiling, divided by the modern partition (Fig 101, Rooms 6290/6300/6310). Elsewhere there are original fireplaces and dado rails, and some later additions including a 20th-century fireplace.

#### *Main condition / health and safety / access issues*

3.2.51 No significant condition or health and safety issues were noted. The front door has two steps but wheelchair access is available through other entrances. The first floor is accessible from the bridge linking the building to the 1958 offices. The second floor is not wheelchair accessible.

### ***Abbotsford House (10 Market Place)*** (Listed Grade II\*, LBS 307547)

#### *External description*

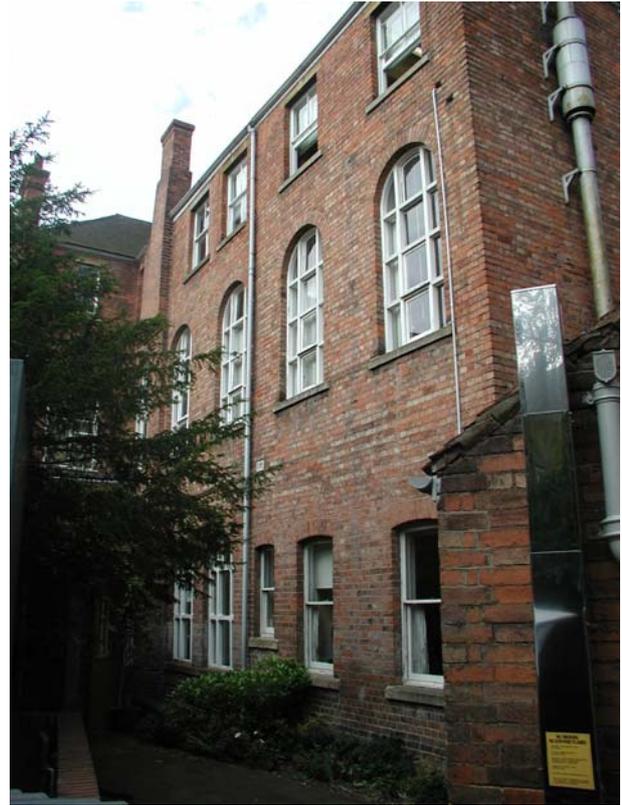
3.2.52 The building has three storeys plus basement and attic, with a sandstone ashlar front elevation and a hipped tiled roof with modillioned cornice. It was built in 1714 for a Warwick mercer, Job Lea, probably to a design by Francis Smith, and was originally a shop on the ground floor with accommodation above. It was completely re-faced in the original style in the 1960s, the original stone having become badly degraded (Fig 105A).

3.2.53 The front elevation has fluted Corinthian pilasters beneath entablatures at the north and south ends, a plinth with horizontal rustication and first and second floor moulded bands. The sash windows have glazing bars and eared architrave surrounds with keystones, the ground and first floor windows being segmental headed. The attic dormers are pedimented and also have sash windows; the central one is a late 20th-century reinstatement; a dormer in this position appears on a photograph from the 1860s, but is not on later 19th- and earlier 20th-century images.

3.2.54 The side (north and south) walls are plain, having been party walls until demolition of the adjoining buildings. The south wall has a second floor window



A. Front elevation



B. Rear elevation



C. Stained glass in ground floor windows

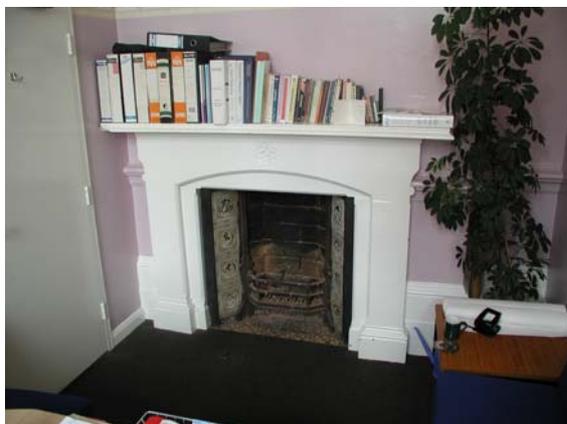
Fig 99: 16 Old Square (former Coffee Tavern)



A. Decorative panel over main door



B. Stairs



C. Room 6650, fireplace and dado rail



D. Room 6300, decorated ceiling



E. Room 6550, first floor rear window

Fig 100: 16 Old Square (former Coffee Tavern)

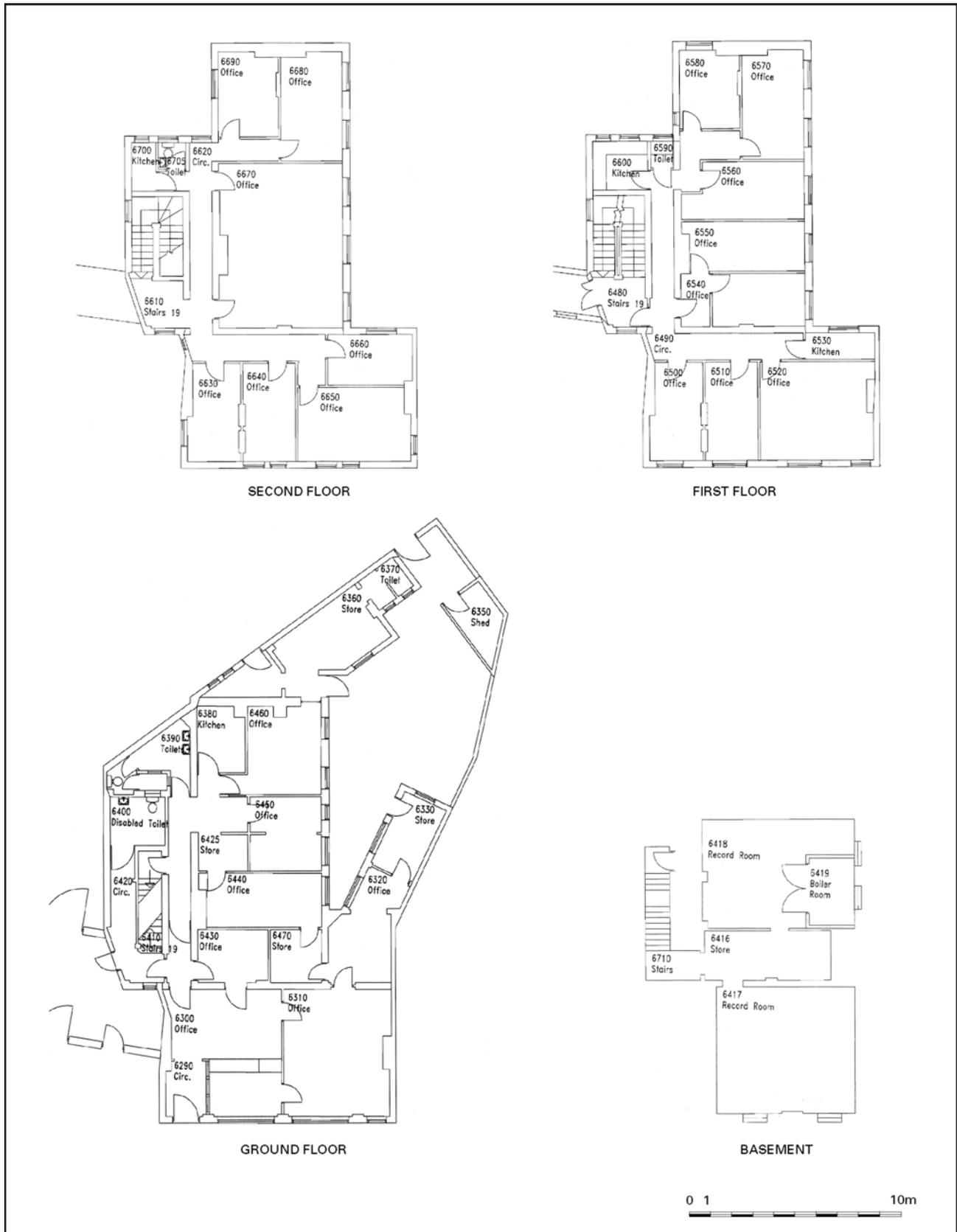


Fig 101: 16 Old Square (former Coffee Tavern), floor plans

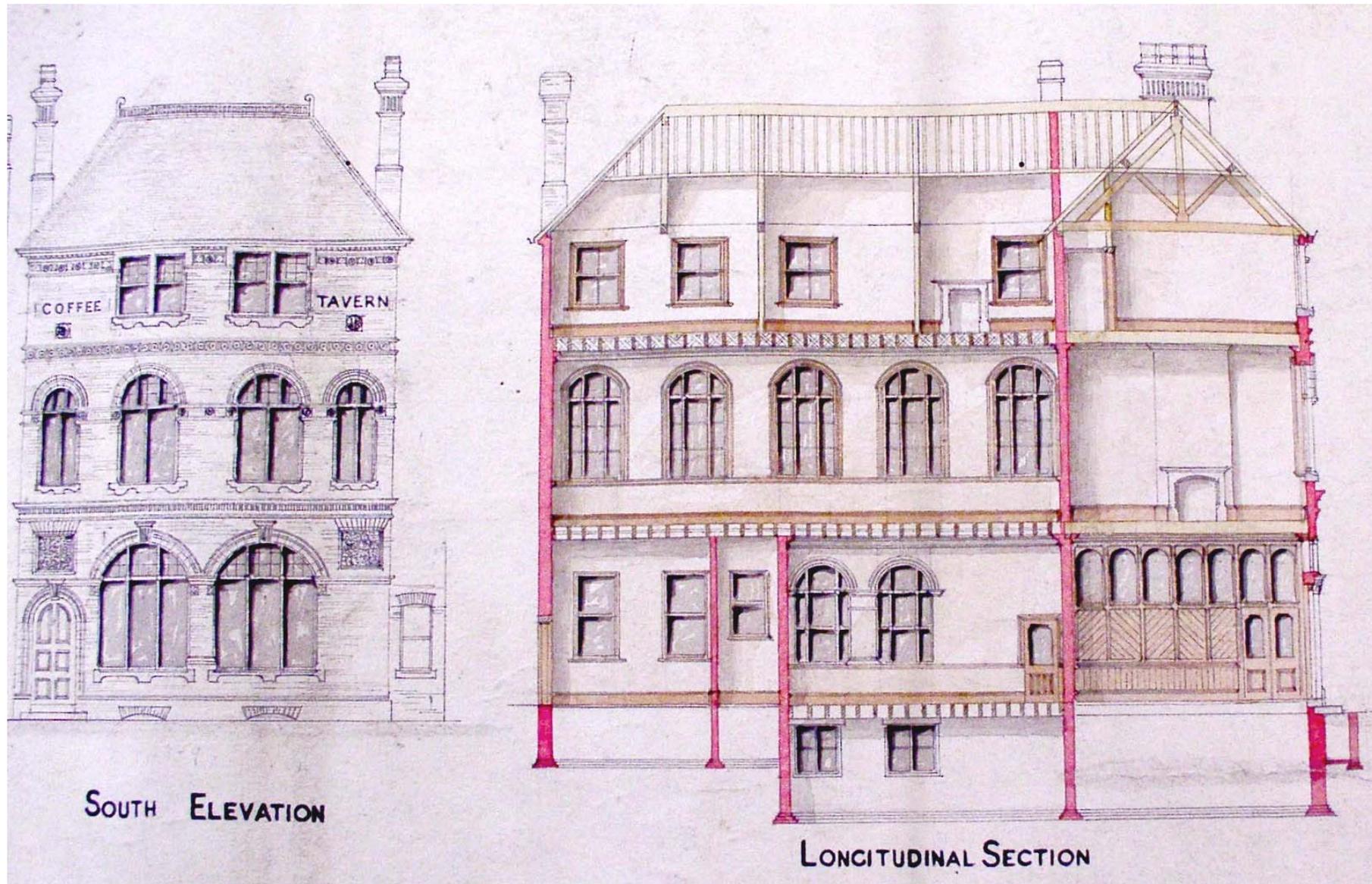


Fig 102: 16 Old Square (former Coffee Tavern) - architect's drawings, c.1880, elevation and section (WRO CR 592 Box 10)

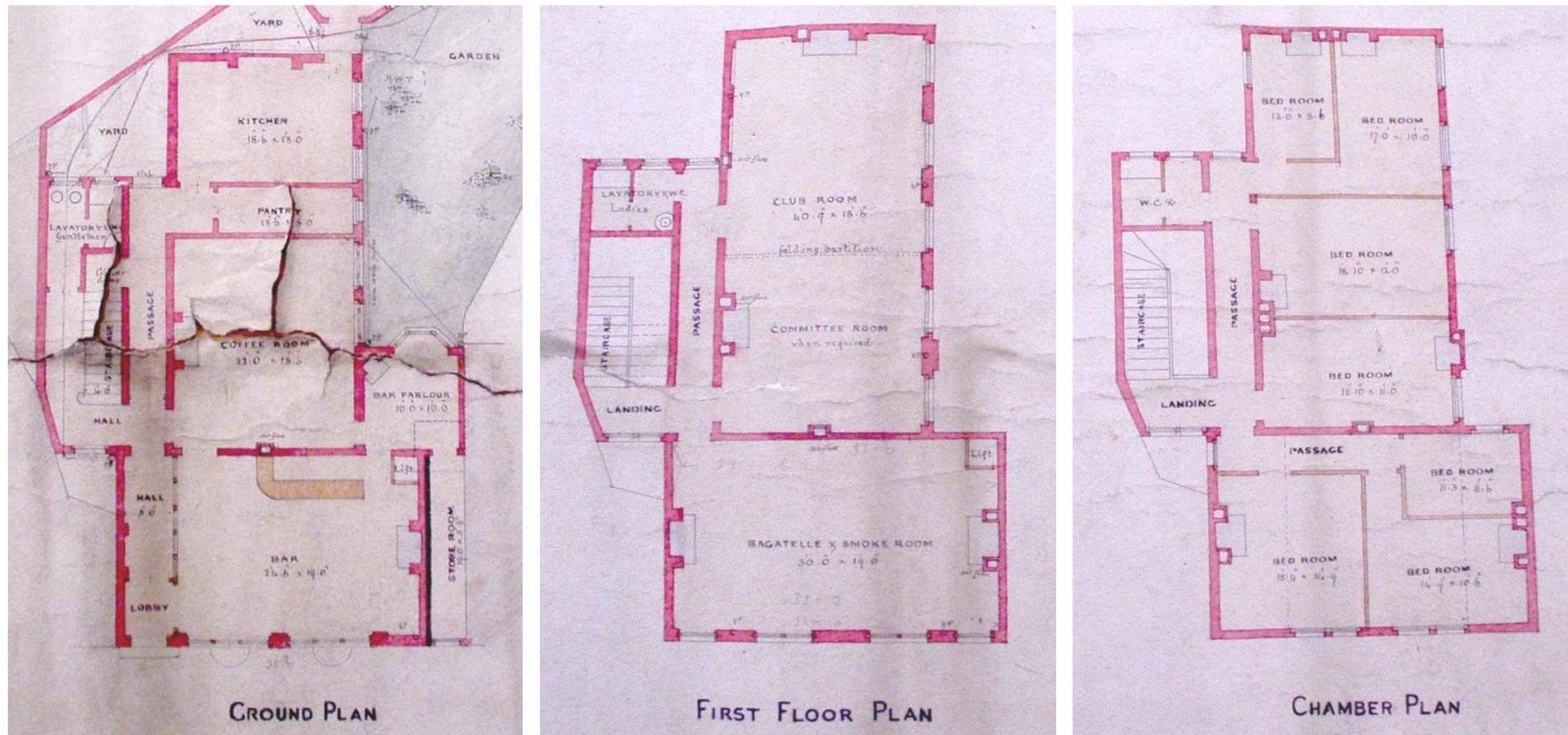


Fig 103: 16 Old Square (former Coffee Tavern) - architect's drawings c.1880, floor plans (WRO CR 592 Box 10)

below the front dormer and a blocked window below the rear dormer. These may be original, but were covered by the former No 12 Market Place when it stood to three storeys, and the present window was probably reinstated when No 12 was reduced to two storeys, probably in the early 20th century. The wall also has a number of S-shaped tie-bar ends. The rear elevation is plain ashlar with much brick repair to replace failed stonework, and modern casement windows in a style reminiscent of 17th-century cross windows. The north elevation is connected to Shire Hall at first floor level by a modern footbridge.

*Internal description*

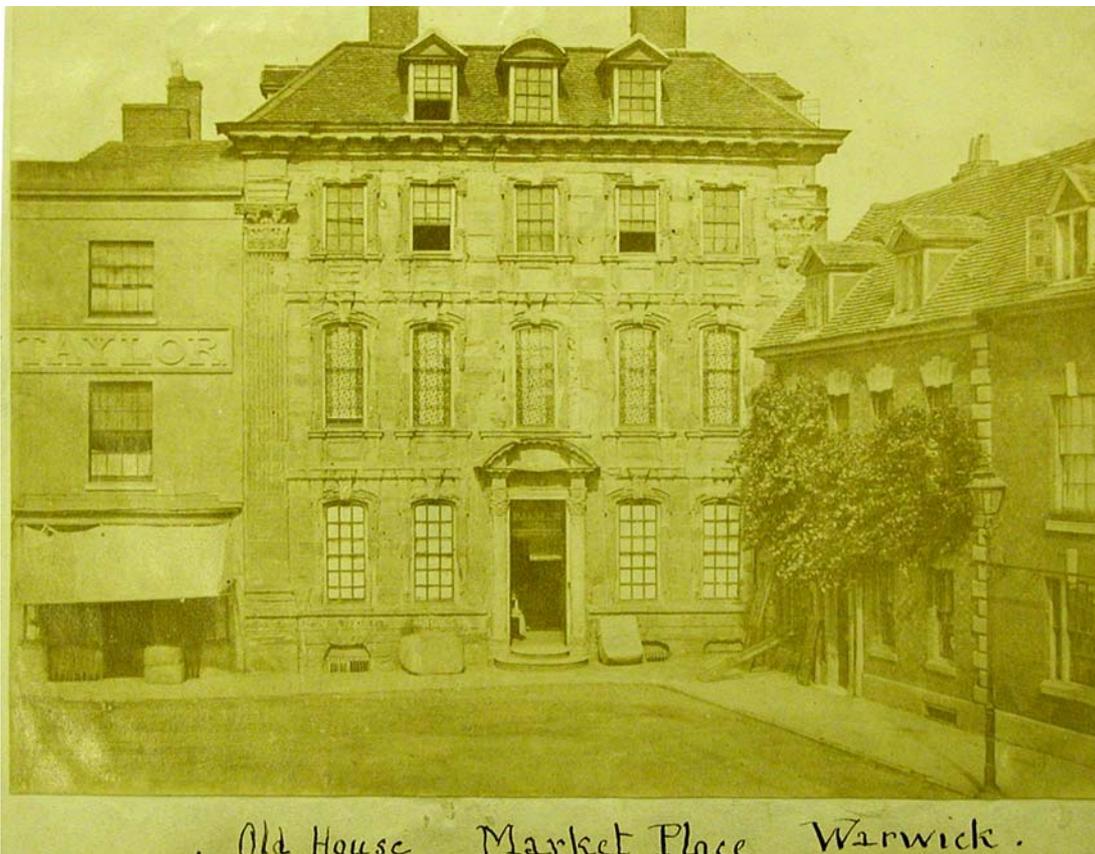
3.2.55 The building has recently been disposed of and converted to four flats for residential use, although the basement has been retained for use by the Council in connection with the Shire Hall pond water purification system. (The photographs in Figs 105F and 106A-F were taken before conversion.) The interior is not therefore described in detail, but surviving original or early features include the staircase, which is of open string construction with barley twist balusters, at least one simple but probably original fireplace, one room with wall panelling all round and a probably early 19th-century fireplace, and at least one other 19th-century fireplace. The basement has a barrel vault roof with brick and stone floors.

*Main condition / health and safety / access issues*

3.2.56 No significant condition or health and safety issues were noted in the basement. Wheelchair access is not available, but is probably not relevant. The rest of the building, now in residential use, is not considered here.



A. Front elevation



B. Front elevation, 1860s (WRO CR A.PR)

Fig 104: 10 Market Place (Abbotsford House)



A. Front elevation, 1930s



B. Side and rear elevation



C. Panelled room (first floor)

Fig 105: 10 Market Place (Abbotsford House)



A. Panelled room, fireplace



D. Fireplace (probably 19th-century)



B. Stairs



E Attic room under renovation



C. Original fireplace



F. Basement

Fig 106: 10 Market Place (Abbotsford House)

### **3.3 Area B, North-west of Barrack Street**

*Barrack Street Offices, Warwick Library and car park* (Not Listed)

#### *External description*

3.3.1 Area B contains no Listed Buildings. It lies just outside the Warwick Conservation Area, but within its setting. The only building in Area B is a ground plus first and second floor office building above a car park, built in the 1970s. (The adjacent Methodist Church is not within County Council ownership.) It is of frame construction with concrete panel and glass cladding, and a flat roof. The main entrance is on Barrack Street. The structure is of no architectural importance.

3.3.2 The car park is of three split-level storeys providing six decks in total and is mostly underground, terraced into the natural ground which slopes down from south to north. The upper car park level (Deck F) also has storage and service rooms (boiler, electricity sub-station etc). There are vehicle entrances on Barrack Street and Theatre Street.

#### *Internal description*

3.3.3 The interior was not surveyed for this Conservation Statement, and is not described in detail. The ground floor (entered from Barrack Street) contains the main Warwick public library, which occupies most of the floor area, the remainder being offices, storage and welfare facilities. The upper floors are a mixture of open plan and smaller offices plus storage and welfare facilities (Fig 109).

#### *Landscaping*

3.3.4 Externally most of the site has been landscaped, with grass and tree planting. To the north it includes the traffic roundabout at the junction of Saltisford with Theatre Street, which is planted with grass and flower beds inside paved edging. To the west it includes the line of the former Holloway, infilled when Theatre Street was rebuilt to join Saltisford at the new roundabout as part of the 1970s development.

3.3.5 To the north-west of the building the ground is undulating and has been built up with a bund inside the curve of the road to help obscure the view of the car park. The Saltisford frontage may also have been built up slightly in this way. There is a flight of steps along the south-western side of the building giving access from Barrack Street to the lowest level of the car park. South of the path there is a short steep slope planted with shrubs up to a grassed area which slopes evenly down from Barrack Street to Theatre Street. From the bottom of the steps to the footpath on Theatre Street there is a surviving stretch of 19th-century stone ashlar wall 25m long, which was built alongside The Holloway, and is the only surviving pre-1970s structure in Area B other than the Northgate Methodist Church.

#### *Main condition / health and safety / access issues*

3.3.6 Not inspected in detail. The building is relatively modern, and no significant condition or health and safety issues are known. Access to the ground floor reception area is level and suitable for wheelchairs, and the internal floors are level. There are lifts between floors inside and from the car park. As the building is not Listed there are unlikely to be any major obstacles to compliance with disability access requirements.

**Northgate Methodist Church** (Not listed)

*Brief description*

3.3.7 Adjacent to Area B in the eastern corner of the area bounded by Barrack Street, Theatre Street and Saltisford, although not in County Council ownership and not therefore surveyed or described in detail for this Statement, is the Methodist Church. It was opened in 1893 and is of red and yellow brick with stone dressings. It is in a restrained Gothic style, its simplicity in contrast to the ornate architecture more typical of the late 19th and early 20th centuries. There are 20th-century additions in similar style, including a centenary stained glass window dated 1893/1993, and a less sympathetic 1960s hall at the western end.



A. West elevation from Barrack Street



B. Approach from north (Saltisford) showing landscaping

Fig 107: Barrack Street Offices



A. South elevation, Barrack Street



D. Landscaping at north of site, and car park entrance from Theatre Street



B. East elevation, from Northgate



E. Remains of 19th-century wall; line of the former Holloway to left



C. Landscaping at the north of the site, and west elevation from Theatre Street



F. Remains of 19th-century wall; line of the former Holloway to right

Fig 108: North-west of Barrack Street

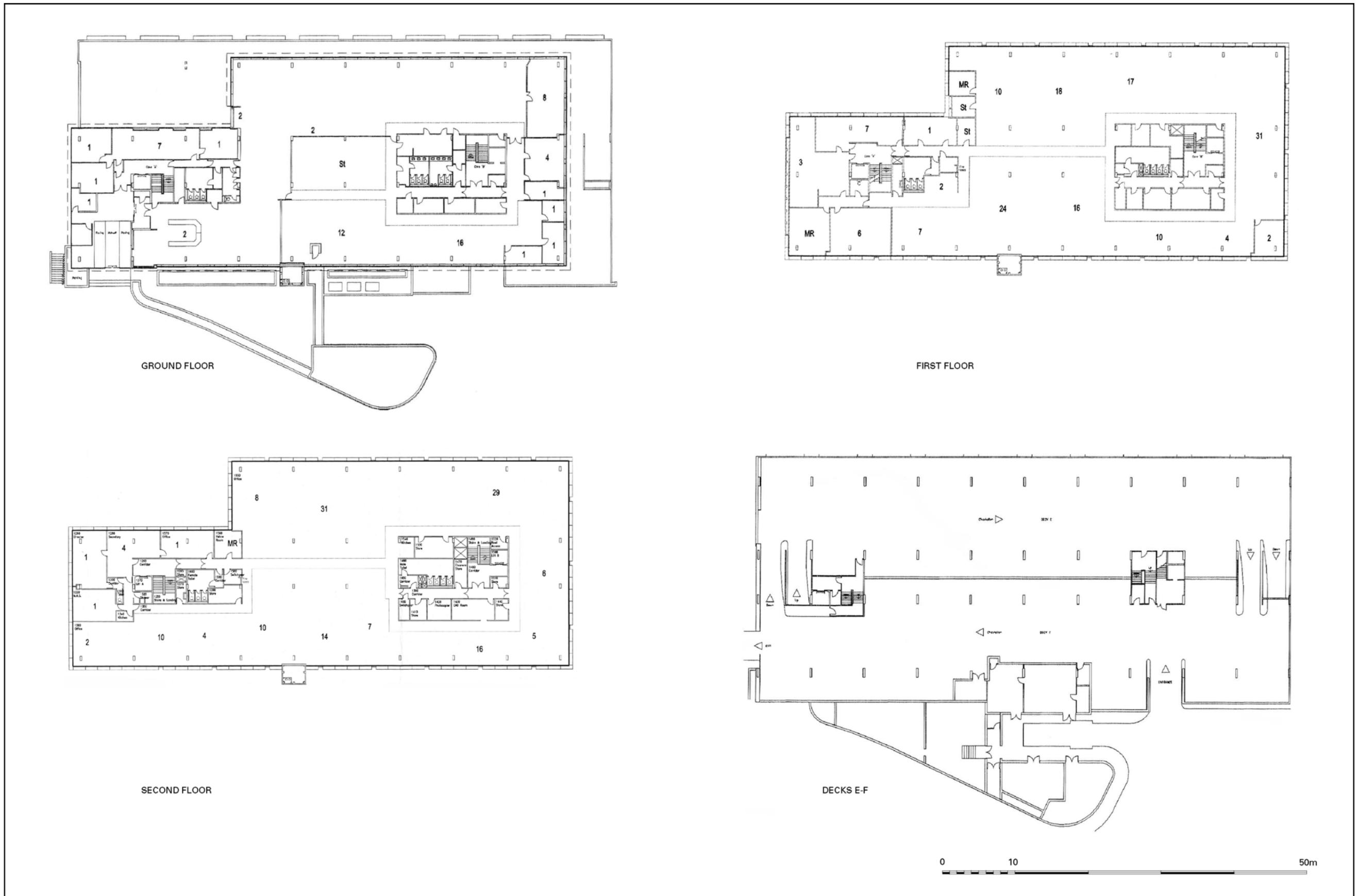


Fig 109: Barrack Street Offices, floor plans

### **3.4 Area C: East of Northgate Street, Northgate and The Butts**

3.4.1 The whole of Area C lies within the Warwick Conservation Area. Nos 18-20 Northgate Street are Listed Grade II\*. Nos 2-16 and 22 Northgate Street are Listed Grade II, as are the end pavilions of the Warwickshire Museum Store in The Butts. The Court Offices in Northgate and the central part of the Museum Store are unlisted.

#### *Northgate Street (east side): introduction*

##### *Building descriptions*

3.4.2 In order to avoid repetition some details are not noted in the individual descriptions below. Unless otherwise stated all frontages have late 18th- to 20th-century sash windows on the ground and first floor front elevations, with casements in attic (second floor) dormers. Windows in the rear elevations are a mixture of types and periods, few original, reflecting the truncation of most of the rear extensions in the 19th and (mainly) 20th centuries. As a general rule windows are not mentioned in the internal descriptions unless associated with features such as internal wall panelling or shutters, or to illustrate a specific point.

3.4.3 Similarly many of the rooms have exposed structural timber beams in the ceilings, some plain, many having chamfered edges with chamfer stops at the ends. These are not specifically mentioned unless to illustrate an analytical point; only beams having details such as corncicing or moulded detail are described below. Minor 19th- and most 20th-century features are not generally noted except to emphasise a particular point or contrast with earlier work. Most visible floor surfaces at time of inspection were modern. Carpets etc. were not removed for inspection. Earlier floors are noted where visible.

3.4.4 Fig 110 shows the current ground floor plan of Nos 4-22 superimposed on the Ordnance Survey 1:500 map of 1887 (enlarged to fit), to permit ready appreciation of the relationship to the former 19th-century Militia Store, the changes to the rear of the historic houses necessitated by the various 20th-century office extensions to the rear, and the former property divisions. Only a few of the basements are shown to scale on the WCC floor plans and reproduced in this section. A rapid measured survey of the remainder was carried out for this survey to establish their general extent with reasonable accuracy, but has not been used in the figures for this section (Fig 152 below).

##### *DDA Compliance and existing access to the buildings*

3.4.5 These buildings have severe problems with access. The considerations are generally similar for all the properties on the Northgate Street frontage (Nos 4-10 and 14-22, which are now interconnected, and No 2 which remains separate). They are discussed collectively in this section to avoid repetition, along with the 20th-century office block to the rear (No 12) to which they are attached. Issues specific to a particular property are mentioned where necessary.

3.4.6 All front doors of the historic properties on Northgate Street have at least one step, and the former main Education Department entrance in No 22 is up a flight of six steps. The installation of wheelchair ramps would be visually intrusive on an otherwise largely unspoilt frontage, and in the case of the main entrance would require a substantial structure. Wheelchair access to the ground floor is, or could easily be made, available from various doors at ground level at the rear of the properties; access from the street is *via* the vehicle entrance through No 14. No 12 has external doors at ground level which are suitable for wheelchair use.

*DDA Compliance and accessibility within the buildings*

3.4.7 Direct internal access between the historic properties and No 12 at ground floor level is *via* a short flight of stairs where the rear of No 22 joins the east-west wing of No 12; it may be possible to adapt these to provide a ramp or short wheelchair lift. At first floor level there is a modern footbridge providing a level connection at the rear of Nos 14-16. Access within the ground and first floors of No 12 does not generally pose any difficulties. All the corridors are level and the doorways wide enough for wheelchair use.

3.4.8 Within each floor of the historic properties there are numerous changes in level, often where access has been created between formerly separate properties, with one or more steps which prevent unrestricted wheelchair access throughout the properties. These are also a hazard to the partially sighted. It may be possible to replace some with ramps, but probably not all unless significant alterations were carried out. These steps can also be a trip or fall hazard to non-disabled people, as noted individually below. Most of the corridors and doorways are wide enough for wheelchairs, but some are awkward or impossible, particularly in the smaller buildings such as Nos 4 and 6.

3.4.9 Access between ground and first floors within No 12 is provided by two flights of stairs, one in the centre of the block and one at the southern end. There is also a lift suitable for wheelchair use, which has been added to the exterior of the main corridor close to the central stairs. Access to the basements is *via* the central stairs. It would probably be possible to add a wheelchair stair lift, if it was considered necessary to provide full accessibility to these areas.

3.4.10 Access between floors within the historic properties is *via* stairs. It is also possible to gain access to the first floor *via* the lift in No 12 and the footbridge which connects it with Nos 14-16. Except for Nos 2, 20 and 22 the second floors are only used for storage, and full accessibility may not be necessary.

3.4.11 In the larger properties with wide stairs (such as Nos 2 and 20) it would probably be possible to install wheelchair stair lifts, but this would be visually intrusive and cause significant damage to the original panelling on the walls which is not likely to be acceptable. In the smaller properties the stairs are generally too narrow, steep or sharply curved for any stair lift.

3.4.12 It would be possible to install vertical lifts suitable for wheelchairs at various points in the historic properties. Internally this would cause a loss of usable space and, within the better preserved examples such as No 20, is likely to require an unacceptable amount of intrusive adaptation. In those where 19th-century and later alterations have already caused damage to the original fabric and layout, such as Nos 8-10, this may be more acceptable. Alternatively it would be possible to add lifts to the rear (east) elevations. With the exception of No 2, and to a lesser degree No 20, the rear elevations were heavily altered in the mid-20th century when the most of the rear extensions were demolished for the construction of the new office block, and such additions may therefore be acceptable. However, even with a lift the problem of the restricted access within the floors due to the changes in level would remain.

**2 Northgate Street** (Listed Grade II GV, LBS 307590)*External description*

3.4.13 The house was built in 1695/6 and has two storeys plus basement and attic with a slate roof. The front elevation has a late 18th- or 19th-century stucco facing with sash windows. The side and rear elevations are the original brick, and the rear retains a tall original cross window to the stairs. The side (south) elevation has two



Fig 110: Nos 4-22 Northgate Street, current ground floor plan superimposed on 1887 map, showing relationship to the former property divisions and rear wings

cross windows on the first floor; photographs from 1942 show original cross windows, but the present ones have modern large panes and the frames are probably modern replacements. The rear wing consists of a probably 18th-century detached outhouse, joined to the main house in the 19th century, with later alterations. There is no direct access between No 2 and the adjoining No 4; unlike all the other houses in the street there are no inserted connecting doorways. The rear garden has a small open-sided brick outhouse (now garden store) at the east end, and is the only garden in the street to survive in anything like its original form.

#### *Internal description*

3.4.14 Much of the interior has been modernised. Surviving original/early or other notable internal features include (date assumed to be late 17th-/early 18th-century unless otherwise stated):

Room	Feature	Date
<i>Basement</i>		
02/03	Brick arch and brick/stone slab storage shelves.	
<i>Ground floor</i>		
10	Cornice with floral moulding. Front door (modern facing panel added). Arch to 120 (modern door).	
20	Cornice all round and round ceiling beam. Bolection moulded fireplace. Blocked doorway to 120. Window shutters (but probably modern replacements). (Sale particulars of 1933 describe, and photographs from 1949 show, a room fully panelled; probably this one, but panelling now removed.)	
110/120	Closed string open well stairs with barley twist balusters and panelling below dado level on wall. Original full height window on half landing.	
130	Chamfered timber beam chimney piece.	
140	Cornice with floral moulding. Shutters to windows.	
<i>First Floor</i>		
150	(Originally two rooms plus a small ?dressing room to south, now opened out into one with modern arch separating north and central sections.) Plain cornice in northern section; ornate cornice in central section. Bolection moulded fireplace (probably original) on former corner angle in central section (mantel probably 18th-century).	
160/170	Fireplace.	C19
200/210	Stairs as 120.	
220	Bolection moulded fireplace (probably original) with plain, probably 19th-century, mantel.	
<i>Second Floor</i>	Not inspected due to condemned stairs. Timber framing visible on walls above stairs (this has sometimes been described as added for decorative purposes in the 20th century, but close inspection could not be carried out for this survey).	

#### *Main condition / health and safety / access issues*

3.4.15 Stairs 120/220 are moving away from the wall and condemned out of use. Access to first floor is available *via* rear stairs 90 and Room 170; second floor not accessible.



A. Front elevation



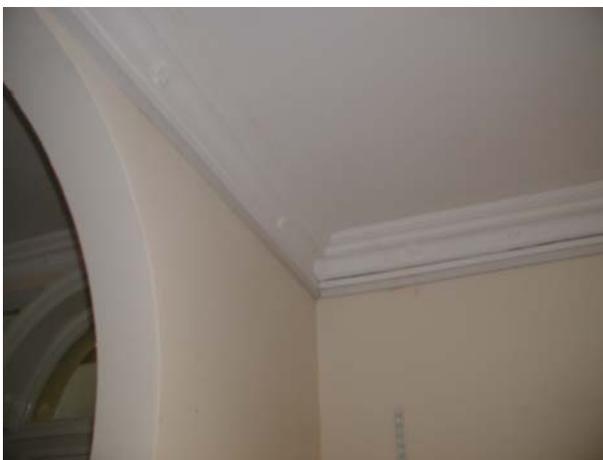
F. Room 20



B. Rear elevation



D. Room 20, fireplace



C. Room 10, cornice detail



E. Room 20, fireplace taken in 1949

Fig 111: 2 Northgate Street



A. Room 130, timber chimney piece



D. Room 150, cornice



B. Room 220, fireplace



E. Stairs to 2nd floor



C. Room 150



F. Basement, slab storage shelf

Fig 112: 2 Northgate Street

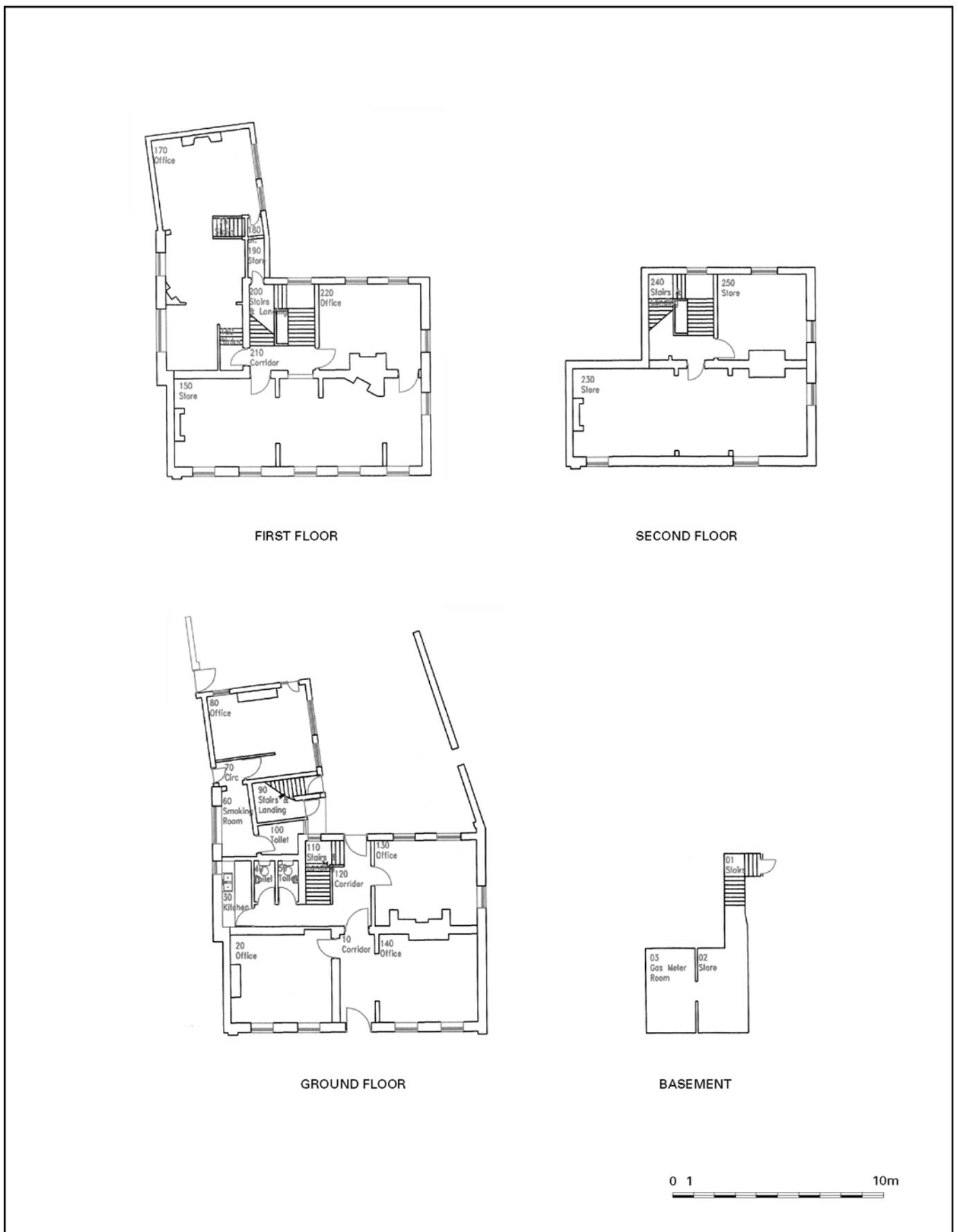


Fig 113: 2 Northgate Street, floor plans

**4 Northgate Street** (Listed Grade II GV, LBS 307591)*External description*

3.4.16 This house is of two storeys plus basement and attic, retains the original brick front elevation and has a tiled roof. It was built c.1698. The rear wing was partly demolished in 20th century, the layout of the remaining section being substantially unaltered. It is joined to No 6 by 20th-century inserted doorways on the ground and first floors (the latter now blocked).

*Internal description*

3.4.17 Surviving original/early or other notable internal features include (date assumed to be late 17th-/early 18th-century unless otherwise stated):

Room	Feature	Date
<i>Basement</i>	Arched brick storage shelving (incomplete) against W wall. Blocked opening towards top of E wall.	
<i>Ground Floor</i>		
740-750	Dog-leg staircase with turned balusters, built-up newels with ball finials and asymmetrical balustrade; flight from ground floor to half landing between has modern panelling, possibly concealing balusters. Door to basement below stairs.	
760	Door. Plain fireplace.	prob. C19
770-780	Remains of dado rail. Door to 750. Door to closet 780 to right of former (removed) fireplace.	
800	East half of north wall is original, with timber suggesting possible blocked door or window opening behind modern box panels at top of wall (can be seen where part missing); west half of wall is modern blocking and door.	
<i>First Floor</i>		
1330	N.B. there appears to be former room or space behind east wall, now inaccessible; there may be a door in the east wall but this was obscured by storage units when inspected.	
1340/1350	Stairs as 740. Door to 1360. Door frame to 1370.	
1360	Fireplace. Door to 1340 with L-hinges.	C18
1370	Door frame to 1340. Closet in east wall (probably originally at side of a fireplace, now removed). South window has plain reveals, but probably early; north window has modern replacements. N-S running ceiling beam is notably rough finished, and may have been boxed in originally.	
<i>Second Floor</i>		
Attic not on survey plan: rooms un-numbered	Stairs as 740/1340 to half landing; from half landing to new attic entrance these are replaced by mod stairs. Original stairs are still <i>in situ</i> as far as modern external wall to flat roof; the original attic entrance was in the rear wing now demolished. Original main timber roof frame, otherwise completely re-roofed.	

*Main condition / health and safety / access issues*

3.4.18 Room 1330 is accessed by two steps down immediately inside door and is a significant fall hazard. Shallow step to Room 800 is a trip hazard.



A. Front elevation



D. Stairs at first floor



B. Room 1360, door



E. Room 1380



C. Room 1360, fireplace



Store 790 door, remains of early H-hinge

Fig 114: 4 Northgate Street

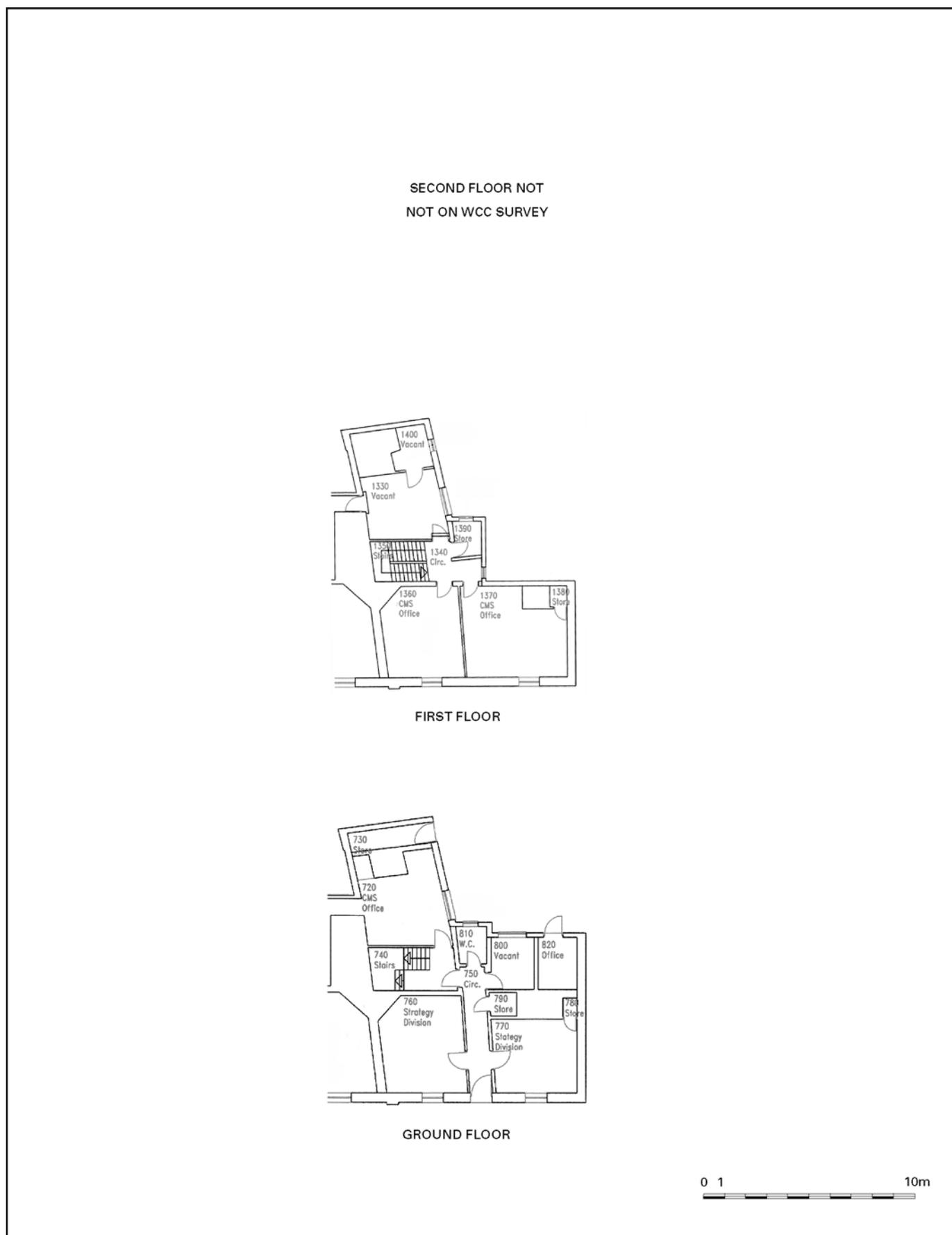


Fig 115: 4 Northgate Street, floor plans

**6 Northgate Street**

(Listed Grade II GV, LBS 307592)

3.4.19 The house has two storeys plus basement and attic, with original brick front elevation and tile roof, and was built in the late 17th/early 18th century. The rear extension was demolished in mid-20th century. It is joined to No 4 by 20th-century inserted doorways on the ground floor and first floor (the latter now blocked). It is joined to Nos 8-10 by a 20th-century inserted doorway on first floor.

3.4.20 Surviving original or early features include (date assumed to be late 17th-/early 18th-century unless otherwise stated):

Room	Feature	Date
<i>Basement</i>	Niches in walls. Brick stairs with timber nosings.	
<i>Ground Floor</i>		
680/700	Door to basement and panelling below stairs. Stairs with square balusters, turned newel and oval-section handrail; probably late 18th-/early 19th-century (though panelling and relationship to basement suggest original location).	late C18/ early C19
710	Wide timber beam chimney piece, probably originally an inglenook, now blocked with modern panel. Door frame to store 840 (modern door).	
850/860	(Originally one room, now separated by 19th-/20th-century masonry partition.) Panelling below dado on south wall of 850 and on north, east and south walls of 860. Remains of fireplace (mantel is probably later) on east wall with cupboards each side. Probably original door frame to 680 (modern door). Window originally a double sash; inner sash now removed.	
870	Cornice with moulded detail on ceiling beam. Probably original door with modern facing panel added. Remains of panelling below dado possibly original but mutilated (close inspection not possible). Window probably originally a double sash as Room 850, but position of inner sash now panelled over. Fireplace with tiled surround and cast iron grate.	C19
<i>First Floor</i>		
1280	Cornice all round with moulded detail on ceiling beam. Door to stairs 1290 with L-hinges. (Narrow door from Room 1270 is a modern insertion, probably replacing a cupboard beside the chimney breast.)	
1290/1310	Stairs as ground floor.	
1295	Wall/partition to stairs 1290 is not recent but possibly not original; door is early with L-hinges, but appears to be originally a narrow door widened on each side. Door to 1300 blocked (door still visible in 1300).	
1300	Door with L-hinges and contemporary latch (with later handle) to 1295 (not used - see above). Original door frame (modern door) to 1290.	
1320	Door with L-hinges to 1290. (Door to 1330 is modern insertion.) Plain fireplace in south-west corner (not on survey plan). Present south wall reflects former inglenook fireplace and chimney below, and may conceal earlier fireplace.	
<i>Second Floor</i>		
1940	Remains of plain fireplace in south-west corner, but chimney breast removed above mantel to create storage area.	C19



A. Front elevation



D. Room 850 panelling below dado



B. Stairs 690 (ground floor)



E. Room 710, timber chimney piece



C. Room 860, fireplace



F. Room 870, ceiling

Fig 116: 6 Northgate Street



A. Room 870, fireplace



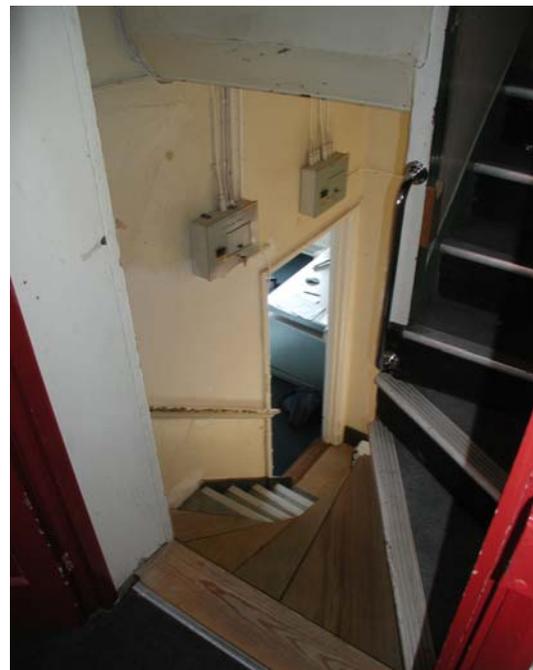
B. Room 1300, former door to 1295 latch detail



C. Room 1940, remains of fireplace



E. Room 1295, door



D. Stairs 1930 from Room 1940 showing difficult access/fall hazard

Fig 117: 6 Northgate Street

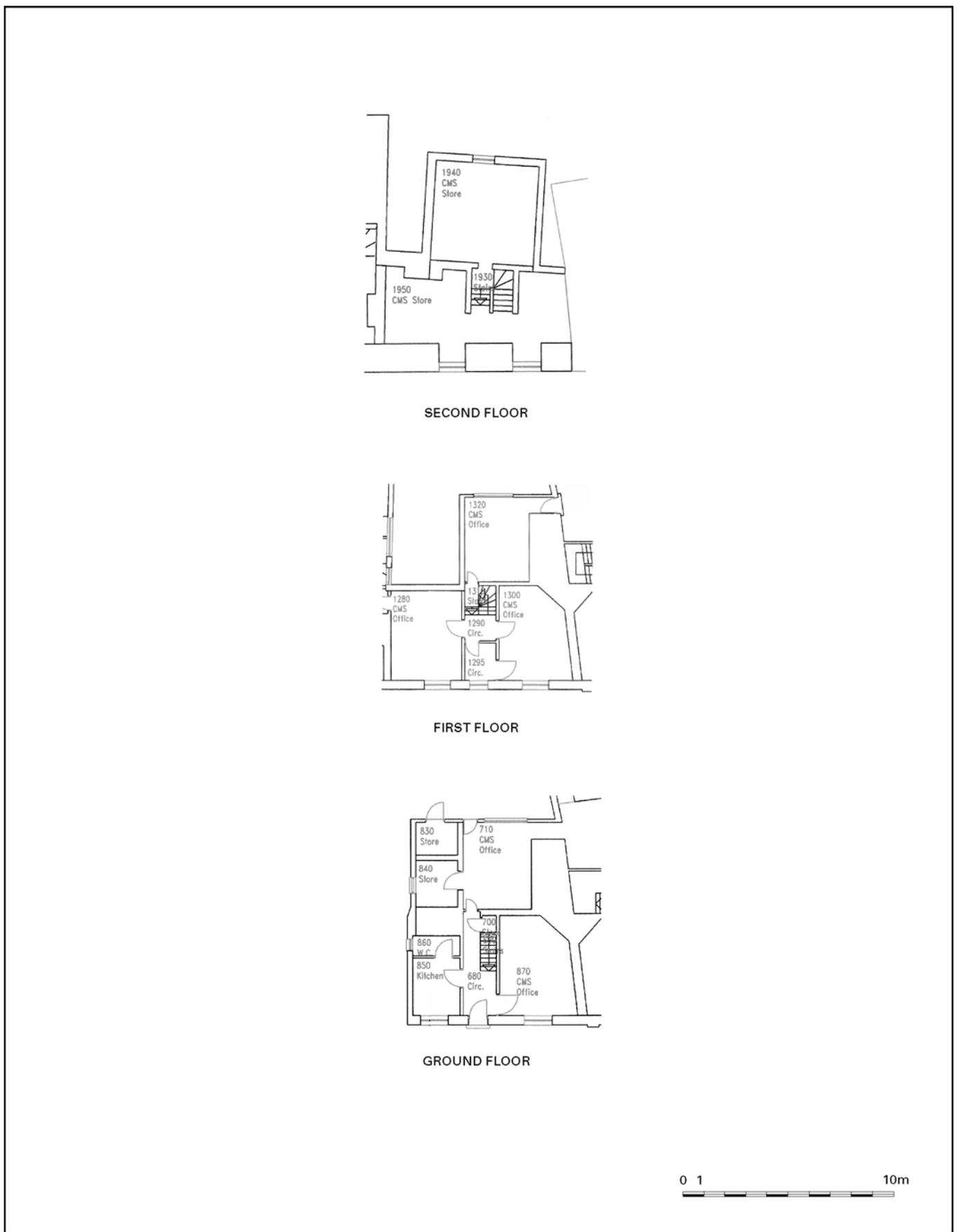


Fig 118: 6 Northgate Street, floor plans

*Main condition / health and safety / access issues:*

3.4.21 Rear wall supported by external scaffolding and ceiling of ground floor Room 710 supported by Acrow props. Stairs to basement steep and in poor condition, with loose nosings and brickwork. Stairs are very steep and narrow, particularly above first floor, with difficult access to Rooms 1280 and 1940 which is a fall hazard.

**8-10 Northgate Street**

(Listed Grade II GV, LBS 307593)

3.4.22 Listed as 10 Northgate Street. *N.B.* Nos 8 (to the south) and 10 (to the north) are no longer numbered separately. There is now only one door to the street, and the former No 8 is included as part of No 10 in both street numbering and Listed Building citation. Until the mid-1920s they were numbered 10 and 12 respectively, from which time No 12 was used only for the former militia stores building at the rear, by then the County Council's finance office.

*External description*

3.4.23 Built in the late 17th century, this has two storeys plus basement and attic with a tile roof and 18th/19th-century stucco front elevation. It was formerly two separate houses. The layout of the northern part (No 10) was altered when it was used by the Warwickshire Militia from the mid-19th century, including truncation of the rear wing. (This may well have been when the stucco, which is very plain as might be expected on a functional military building, was added.) The street entrance of the former No 10 has been blocked and replaced by a window matching the rest. The rear wing of the southern part (No 8) was demolished in the mid-20th century. The combined premises are joined to No 6 by a 20th-century inserted door on the first floor, and to Nos 14-16 by a 20th-century inserted door, also on the first floor.

*Internal description*

3.4.24 Surviving original/early or other notable features include (date assumed to be late 17th-/early 18th-century unless otherwise stated):

Room	Feature	Date
<i>Ground Floor</i>		
570	Possibly original front door. Moulded patterned dado with moulded paper decoration below. Patterned tile floor. Door frame to 670 (door is 19th-century) and second former doorway to 670 (now reception counter) adjacent to stairs. Possibly original door frame to 590 (19th-century door with mouldings). Arches in circulating area, one with panelling. Cornice throughout front to rear passage. Rear door. Remains of large gas lamp fitting opposite bottom of stairs. (Inserted doorway with step down to 600 joining the former Nos 8/10 and 10/12).	C19 C19      C19 C19 (C20)
590	Door architrave is fluted with rose corner mouldings, it is rather ornate for a back room and may have been re-used (door is 19th-century with moulded decoration).	?C18
600	Door to 660. (Door to 570 is insertion, joining the former Nos 8/10 and 10/12.) Shutters and panelling around windows. North window has window seat forming storage box.	(C20)  prob. C19
610	Possibly original door to 620. Door to 650. Door frame to 600/660 (modern door).	prob. C19 prob. C19

620	Door to 610. Early cupboard on north wall.	
640	Stairs have turned balusters and square newels with half balusters. The staircase uses original components but has been rebuilt, possibly in original location (e.g. ground to first floor is set on steel joists, etc).	
650	N.B. now electrical switchgear room, mostly stripped to bare brick with 19th-century fireplace opening in NE corner - no fittings.	
660	Door to 600. (Internal timber lobby is 19th/20th-century). Panelling and shutters round north window (one, possibly both, shutters open but are blocked by modern blind fitting). South window is modern sash replacement for former front door in blocked opening to street.	C20
670	Cornice to all existing walls and beams. Panelling below north window (behind radiator). Two probably original door frames to 570 (present doorway with 19th-century door, and blocked door/reception counter). The presence of chimney breasts on both north and south walls, and two doors, suggest at one time this was two rooms, probably with a dividing wall on line of N-S ceiling beam.	
<i>First Floor</i>		
1240/1270	Stairs as 640.	
1250	Ceiling divided into three by beams; cornice around western section only. Presence of a chimney breast on both north and south walls suggests that this was previously two rooms. Probably original door to landing 1240.	
1260	Cornice all round. Cupboard to right of chimney breast, door removed. Original door frame with 19th-/20th-century door (wording "Chief Clerk" can be made out below later paint on outside of door).	
1270/1280	Originally one room, now sub-divided to form room and corridor. Early fireplace with 20th-century brick fire surround. Cornice and picture rail all round. Original door frames to 1280 (19th-century door) and 1410 (door removed).	prob. C19
1410	Stairs probably 19th-century, turned newel and square balusters behind probably 20th-century partition.	C19/20
1420/1430	Originally one room; 1430 now partitioned off (probably 19th- or earlier 20th-century; not recent). Fireplace in south wall; contemporary cupboard to left (doors removed).	
1440	Door with H-hinges.	
1450/1460	Door to corridor 1240. Door to store 1260 (modern architrave).	
1480	Door with broken L-hinge. Plain fireplace.	C19
<i>Second Floor</i>		
1860	Stairs as 640/1470. Top landing has modern solid infill below balustrade (may conceal original balusters).	

*Main condition / health and safety / access issues*

3.4.25 Step down from Room 600 to Room 570 is fall hazard. Step down immediately inside door to Room 1440 is fall hazard. Two steps down immediately inside door to Room 1450 is serious fall hazard. Single step from half landing to Room 1870 is fall hazard. Attics 1890/1900 have uneven floor - trip hazard.



A. Front elevation



D. Circulating area 570, 19th-century patterned dado and wall covering



B. Circulating area 570, front door



E. Room 590, door



C. Circulating area 570

Fig 119: 8-10 Northgate Street



A. Room 660, north window



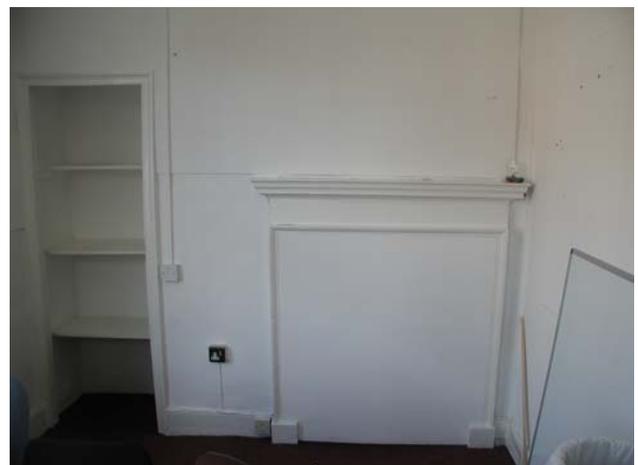
C. Room 670



D. Room 1250



B. Stairs 640, ground floor



E. Room 1430, fireplace

Fig 120: 8-10 Northgate Street

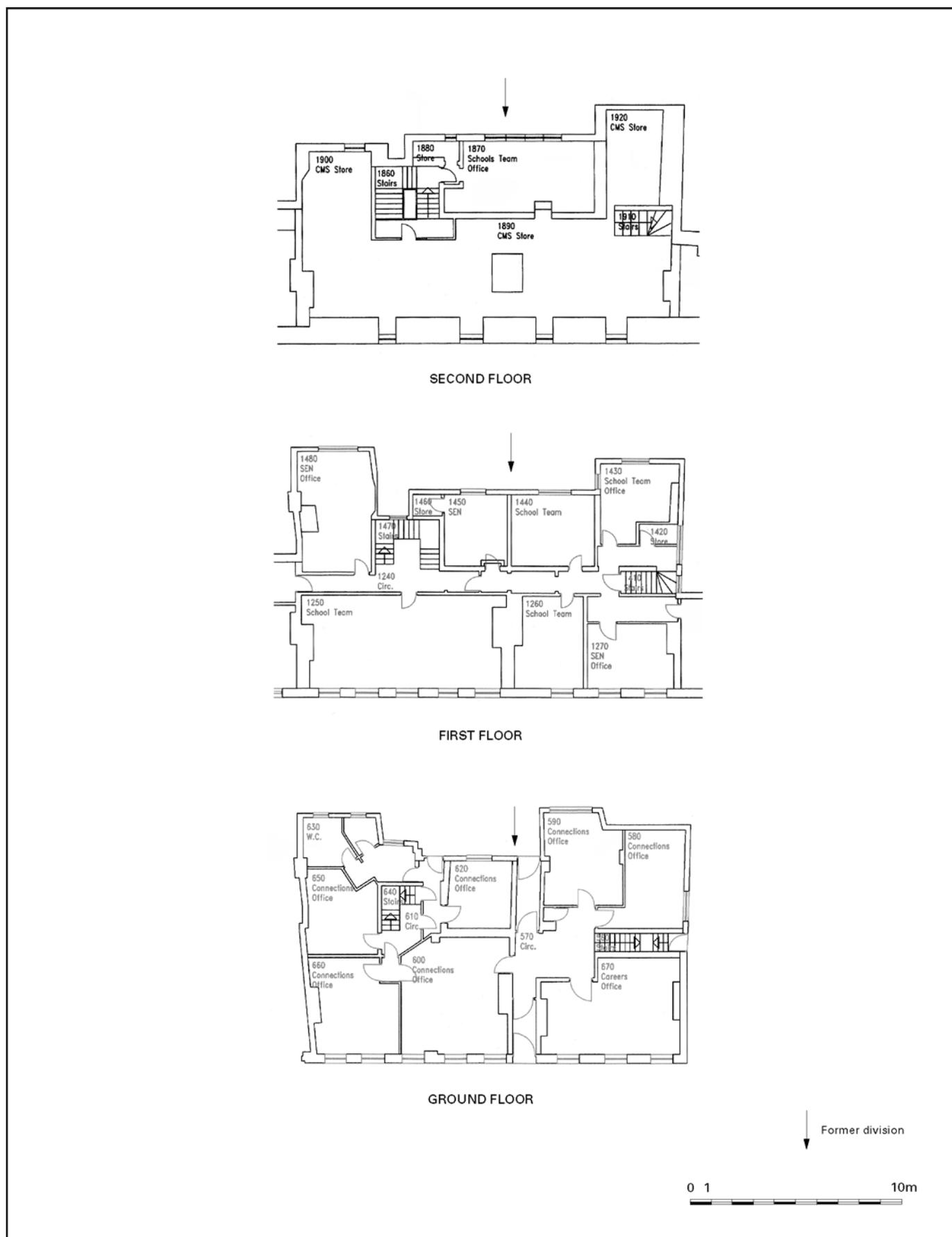


Fig 121: 8-10 Northgate Street, floor plans

**12 Northgate Street (20th-century council office block)** (Listed Grade II GV under 16 Northgate Street, LBS 307594)

*External description*

3.4.26 At a casual glance, particularly from the west side, this appears to be a single-phase two storey 1930s brick office block with a slate roof. Closer inspection reveals several phases, and it actually incorporates part of the 19th-century Warwickshire Militia store encased in later additions. Externally it is mostly 20th-century (1930s) brick, with flat brick lintels over window openings and metal framed windows. Some 19th-century and earlier 20th-century brickwork, with 20th-century gauged brick flat arch lintels and timber windows, is visible in the southern half of the east wall; the 19th-century window openings have been modified to match. (See sections 2.4.22-27 and Fig 47 above for further discussion of construction phases.) There is a semi-basement projecting to the east and a basement below the northern section of the north-south wing. It is joined to Nos 20 and 22 Northgate Street at ground and first floor levels, and to Nos 14-16 by a 1960s footbridge at first floor level.

*Internal description*

3.4.27 There is evidence of removal of partition walls indicating minor internal re-arrangements. Internally much of the building retains mid 20th-century fixtures and fittings: doors, picture rails etc. These are not described individually below except to illustrate specific points, usually the various building phases. The walls and ceilings are generally plain painted plaster, sometimes with picture rails, though there are some variations such as modern suspended ceilings. Other surviving original or early (in this case meaning 19th- to 20th- century) features include:

Room	Feature	Date
<i>Basement</i>		
10	Stairs with steel balusters and wooden balustrade.	1932
20	South wall shows remains of earlier brickwork (with ?relieving arch) of the Militia Store.	mid C19
<i>Ground Floor</i>		
70/80	Stairs with steel balusters and wooden balustrade. Remains of steel grille partition towards north end of corridor 80. Partition between corridor and rooms north of stairs is 1930s timber glazed partition. The equivalent south of the stairs is masonry with window and door openings as necessary - this is the original western external wall of Militia Store, and of the earlier 20th-century extensions to the south, now encased in 1930s corridor.	1932 1930s (?1932)
530/540/550	Corresponds to ground floor of former Militia Store. Former arched opening between 530 and 540 blocked (masonry). Arched alcoves in north wall 550 now cupboards, with 1930s varnished timber doors.	mid C19 Mid C19/ 1930s
420	Stairs with original handrails to inner wall (outer rails are modern in similar style).	1932
<i>First Floor</i>		
880	Stairs as ground floor stairs 70.	1932
1010	Stairs and circulating area; this is where the 1930s work joins No 22 Northgate Street - see 22 Northgate Street for description.	
990	Cornice all round.	
1640	Cornice all round. Presence of two chimney breasts (no fireplaces) indicates was previously at least two rooms, possibly three. Corresponds to first floor of former Militia Store.	mid C19
1530	Cornice in small "bay" at south.	
1490	Original tiling and floor (Ladies WC).	1930s
1510	Stairs as ground floor 420.	1930s



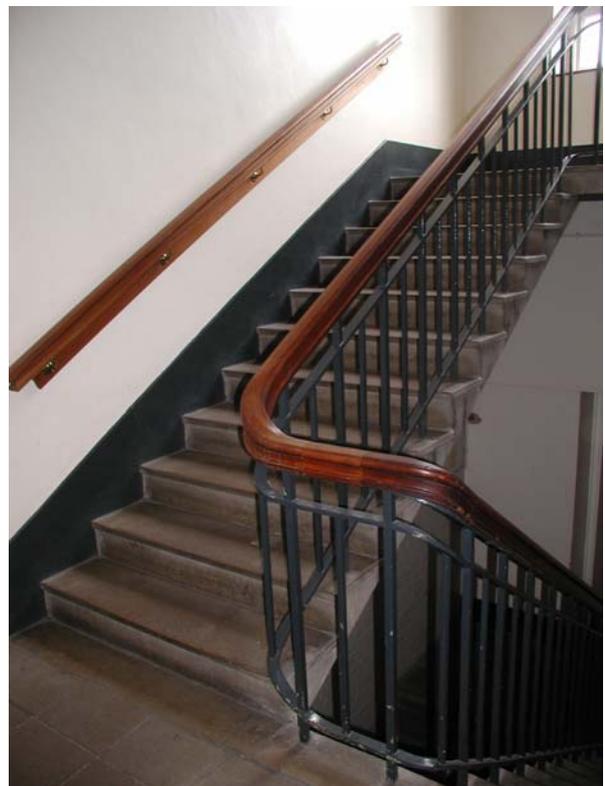
A. West elevation



E. Basement, 19th-century arch of former Militia Store



B. East elevation north end (1932)



F. Stairs 70, 1932 offices



C. East elevation centre (1932 offices to right, altered Militia Store and 1924 offices to left)

Fig 122: 12 Northgate Street (offices to rear of Northgate Street, east side)



A. Corridor 80 north of stairs 70 (1932 offices, ground floor)



D. Room 130 (typical large room 1932 office)



B. Corridor 80 south of stairs 70 (1937 corridor, Militia Store/1924 offices to left, ground floor)



E. Room 930 (typical small room, 1932 offices)



C. Corridor 80, remains of partition (1932 offices ground floor)

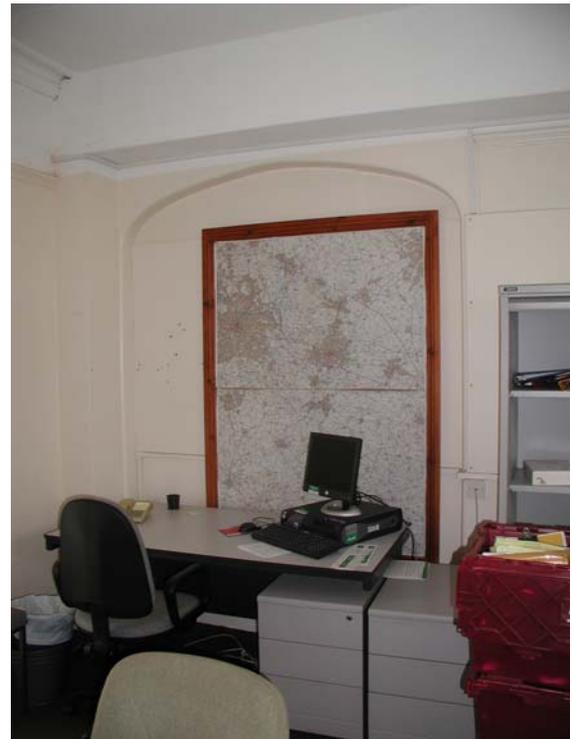


F. Room 990 (1932 offices, originally Chief Education Officer's room)

Fig 123: 12 Northgate Street (offices to rear of Northgate Street, east side)



A. Room 170 (Gents WC 1932 offices) original fittings



C. Room 530 (former Militia Store ground floor) blocked arch



B. Room 550 (former Militia Store ground floor), 1930s cupboard



D. Room 1640 (former Militia Store, first floor)



E. Room 460 (1937 extension)

Fig 124: 12 Northgate Street (offices to rear of Northgate Street, east side)

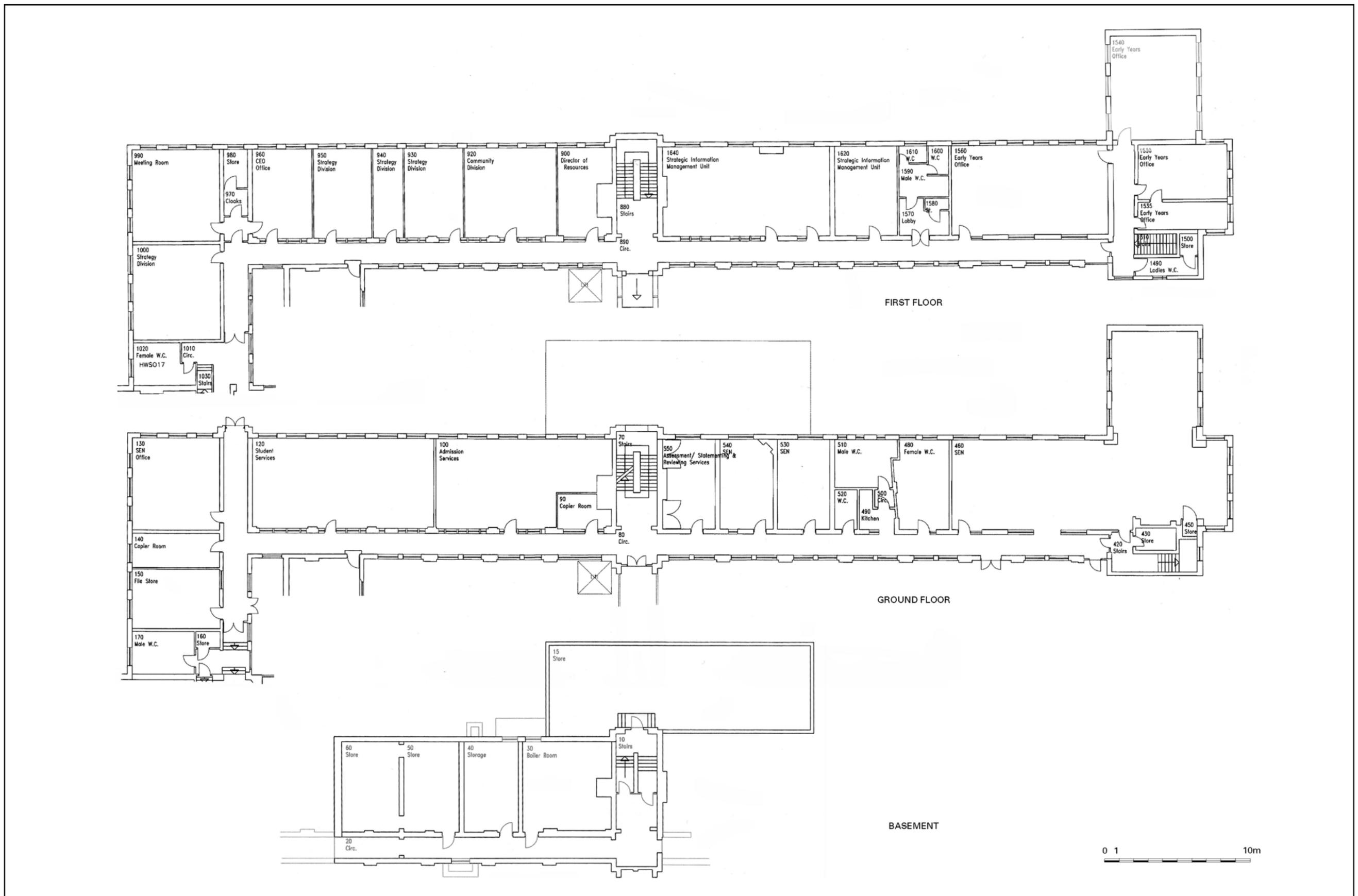


Fig 125: 12 Northgate Street (offices at rear of east side), floor plans

*Main condition / health and safety / access issues*

3.4.28 There are no significant condition issues. Wheelchair access is available to the ground floor from the external doors which are at ground level. Stairlifts to first floor could be installed without significant damage (only the loss of modern handrails on the outer walls of stairs). It may be possible to install ramps on the short flights of stairs from No 22, to give access to the main reception area (but note that this is not wheelchair-accessible from the street - see below). The steps up from the 1930s corridors to the rooms in the former No 20 are a fall/trip hazard, and installation of ramps would be difficult.

**14-16 Northgate Street** (Listed Grade II GV as 16 Northgate Street, LBS 307594)

3.4.29 Nos 14 and 16 are no longer numbered separately; No 14 does not now have a separate entrance, and is included as part of No 16 in both street numbering and Listed Building citation.

*External description*

3.4.30 These combined premises were originally built as separate dwellings in 1696 to 1697 and have two storeys plus basement and attic, with late 18th- or 19th-century stucco frontage and tile roof. There is a moulded band between the ground and first floors, and five evenly-spaced identical windows with architrave mouldings on the first floor; the ground floor windows have similar mouldings. The rear elevation of No 14 has an original stone cornice below the roof, and one possibly original cross-window frame (with later glazing) on the first floor. The rear wing of No 14 was demolished in the mid-19th century and replaced by a link building to the newly built Militia Store at rear, with a wide carriage entrance formed through at ground level giving access to rear. (The link building was itself demolished in the mid-20th century.) The rear wing of No 16 was demolished in the mid-20th century. The internal layouts have been significantly altered during 19th and 20th centuries.

3.4.31 The present front elevation of Nos 14 and 16, which gives the impression of a single house, is recent. (See sections 2.3.34-5 above. The Listed Building citation in Appendix C was amended in 1973 and reflects the current appearance.) No 14 is joined to No 16 by 20th-century added corridor on east side at ground level, by a 20th-century added corridor and inserted doors on first floor, and by 20th-century inserted doors and removal of partitions on second floor. The combined premises are joined to Nos 8-10 by a 20th-century inserted door on first floor, to Nos 18-20 by 20th-century inserted doorways on ground, first and second floors, and to the offices at the rear (No 12) by a recent footbridge at first floor level.

*Internal description*

3.4.32 Surviving original/early or other notable features include (date assumed to be late 17th-/early 18th-century unless otherwise stated):

Room	Feature	Date
<i>Basement</i>	Small ?lamp niches in walls at base of stairs. Possible blocking or earlier masonry in N part of E wall.	
<i>Ground Floor</i>		
290/300	Window shutters with panelling below (window not on survey plan). Mutilated side pieces of fireplace in south wall. Cupboard to right of fireplace (that to left is modern). Plain fireplace in north wall. Stairs to first floor removed; blocking visible in east wall south of door and underside of truncated stairs visible from entrance to basement 320 . Presence of two fireplaces indicates 290 was previously two rooms.	C19

320	Truncated stairs to first floor from 290 visible behind blocking (see also above). Brickwork visible in the reveal of the door shows the original wall constructed in bricks 60mm thick, with an added 20th-century skin forming present wall of corridor in 70mm thick bricks.	
330	Originally through passage between Nos 14 and 16; former door to street now blocked with masonry and 20th-century sash window.	
340	(20th-century inserted sash window, no panelling or shutters.) Small blocked opening high in entrance "lobby".	(C20)
350/360	Stone flagged floor. Stairs 360 (probably 19th-century) still <i>in situ</i> behind blocking panel.	?C19
<i>First Floor</i>		
1180	Blocked doorway to stairs 1190.	
1190	(Stairs and corridor.) Blocked door to 1180 at north end. Blocked entrance to former stairs from ground floor in east-west wall immediately north of window. Narrow stairs to second floor.	?C19
1200	Plain fireplace in south wall.	C19
1220	Plain fireplace in N wall. Door to corridor in south-east corner (architrave missing inside room). Smaller original door with contemporary latch in NE corner. (Window is 20th-century sash with plastered reveals.)	C19 (C20)
1230	Chimney breast in south wall is original or early, but fireplace is 20th-century. (Window is 20th-century sash with plastered reveals.)	C20
<i>Second Floor</i>		
1810	Original doorway to stairs 1820; no door, but supports for simple early/original hinges survive on frame. Original floorboards (25-28mm; 10-11" wide) visible in part, mostly covered by modern chipboard. Original main timber roof framing and purlins.	
1820	Stairs as 1190.	

*Main condition / health and safety / access issues*

3.4.33 Rooms 290 and 340 are two steps up from corridor and are a trip/fall hazard. Some rot on framing of stairs 360.

**18-20 Northgate Street**

(Listed Grade II\* GV, LBS 307595)

*External description*

3.4.34 This is a six bay building with two front entrances, built between 1696 and 1698. It has two storeys plus attic and basement, with an 18th-century stucco frontage with rusticated quoins and moulded stucco band between ground and first floors, and a tiled roof. The central portion of the front elevation projects slightly and is surmounted by a triangular pediment containing an oval window. The ground floor window is semi-circular headed within a larger semi-circular arched reveal. The rear wing of No 18 was mostly demolished in the mid-20th century. The rear wing of No 20 was truncated at the same time, and now abuts the corridor of the mid 20th-century office block to east (No 12). The layout of No 20 is substantially unaltered. The front rooms of No 18 are substantially unaltered, but the (surviving) remainder has been heavily altered, including the removal of the stairs, in the 20th century.



A. Front elevation



A. Rear elevation (No 14)



B. Corridor 240, Room 290 door

Fig 126: 14-16 Northgate Street



A. Store 310, truncated stairs



D. Store 320, inserted window to street blocking former passage between Nos 14 and 16



B. Room 1220 door, detail of L-hinge



C. Room 290 (former stairs behind partition on right)



E. Room 1230, 1930s cupboard

Fig 127: 14-16 Northgate Street

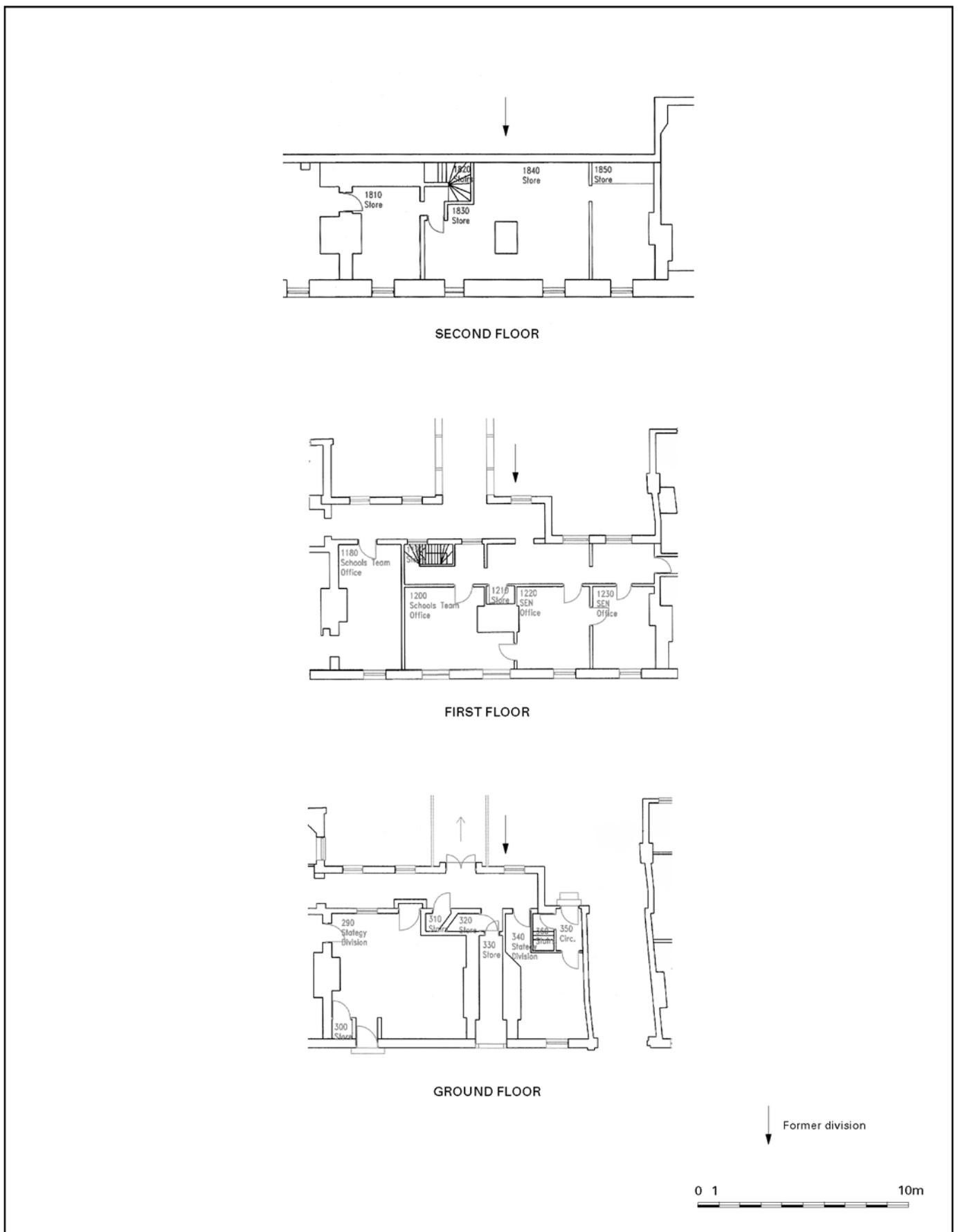


Fig 128: 14-16 Northgate Street, floor plans

3.4.35 The property is joined to Nos 14-16 by 20th-century inserted openings on the ground, first and second floors. It is joined to No 22 by 20th-century inserted doorways on the ground and first floors, and a fire escape hatch on second floor, and to the 20th-century offices at the rear *via* the rear wing on ground and first floors. Blocking walls between Nos 18 and 20 inserted in the 18th century when the building was divided into two were removed in 1927 (see sections 3.99-100)

*Internal description*

3.4.36 Surviving original/early or other notable features include (\* date is assumed to be 17th- or 18th-century unless otherwise stated):

Room	Feature	Date *
<i>Basement</i>	Formerly continued further to rear - now blocked with brick and forms pipe duct. Brick floor with drainage channels. Brick shelves in present rear section. Remains of iron gate between sections.	
<i>Ground floor</i>		
240	Cupboard in wall outside Room 280.	
250	(Stairs and corridors.) Original open well, open string staircase in No 20, with turned balusters and panelling on wall to dado level. Door to basement below stairs - trace of former L-hinges. (No visible evidence for stairs in No 18; 1930s plans show stairs in corridor outside WC 370, now removed.) East-west arch in circulating area at base of stairs. Two external doors in E wall, both possibly original with later glazing. Cornicing in passage to front door of No 20 and around beams south of arch. Plain dado rails in passage to front door of No 20. Moulded dado with moulded panels below in passage to front door and corridor of No 18. Arched alcove and panelling in corridor behind Room 270; ?later fireplace.	C19
260	Cornice all round. Fireplace in north wall. Window shutters and panelling below windows.	
270	Dado and panelling below. Shutters to windows. Fireplace in north wall (boarded up); original cupboards either side of fireplace, with ?C19 plain mantelpiece Picture rail all round.	
280	Cornice all round. Dado with dentil moulding. Shutters to windows and panelling below. Ceiling rose. Fireplace in south wall.	early C19
390	(Now sub-divided to form corridor along west side.) Cornice all round original walls, including corridor. Shutters to windows with panelling below. Cupboard to right of chimney breast probably converted from original doorway to Room 410.	(modern)
410	Bolection moulded fireplace on west wall. Blocked doorway to Room 390.	

<i>First floor</i>		
1100	Cornice all round, and around ceiling beams. Panelling all round, except plain reveals and modern sill in windows. Built-in cupboard below south window. Door and frame to stairs 1120 (with modern facing panel added). Marble fireplace in north wall Cupboards either side of fireplace (right now converted as access to Room 1080 with original door).	1930s  C18-19
1110	Door and frame to stairs 1120 (not on survey plan). Shelving on west and south walls.	
1120	Stairs as 250.	
1130	Doorway to 1120 (modern door).	
1150	Cornice all round and around ceiling beams (modern perforated tiles on ceiling). Panelling all round below dado (dado now computer trunking) and above on north, south and east walls. West wall panelling (between windows) above dado is plain with simple moulded beading. Window shutters and probably original window seats. Door with L-hinges. Marble fireplace in east wall. Cupboard with probably 19th-century door to left of fireplace.	?C18  early C19
1160	Cornice all round and round ceiling beams. Panelling all round below dado. Simple panelling with raised moulded beading all round above dado (as 1150 west wall). ?Original fireplace in south wall with plain 19th-/20th-century mantel.	?C18
1650	Panelling all round - some modern replacement/repair; east wall was rebuilt and brick column inserted during 1930s addition of rear block. Shutters and panelling around windows. Doorway to 1660 with panelled reveals now blocked as cupboard. Cupboard in north-west corner. ?Original fireplace with later mantel.	
1660	(Sub-divided to form corridor on west side.) Cornice all round original walls, including corridor. Panelling all round except north wall of corridor. Shutters and panelling round windows. Door frame in west wall to stair area (no door).	(modern)
<i>Second floor</i>		
1680	Stairs and panelling as 250/1120. Door frame to attics 1690/1780.	
1690	Main roof timbers visible; redundant joints indicate re-use or alterations. Entrance with "lobby" arrangement to Rooms 1690 and 1780 may be original, though with modern doors.	
1760	Doorway and frame from stairs 1680 into modern inserted lobby; original door re-used in new position. Cornice all round. Panelling below dado all round original walls (including lobby); also one panel above dado in lobby and one in south-east corner. Above dado level walls appear to be modern boards (but may conceal original panelling?). Access to Room 1770 has panelled cupboards each side and panelled ceiling. Panelling to window with possibly original window seat.	
1770	Doorway from Room 1760 (see above). Cupboard door in north-west corner; handle removed and cupboard now accessed from Room 1760.	



A. Front elevation



B. Rear elevation No 20 showing rear wing



C. Rear elevation No 18, truncated rear wing to left

Fig 129: 18-20 Northgate Street



A. Stairs 250, ground floor



C. Corridor 240



B. Corridor 240, 19th-century moulded detail (No 18)



D. Room 270, east wall

Fig 130: 18-20 Northgate Street



A. Room 260, fireplace



B. Room 390



B. Room 280



C. Room 410, fireplace



C. Room 280 ceiling rose



D. Room 1100, showing split in panelling

Fig 131: 18-20 Northgate Street



A. Room 1150, door and panelling



D. Room 1160, panelling



B. Room 1150



E. Room 1650, east wall rebuilt 1932



C. Room 1160, fireplace



F. Room 1650, fireplace

Fig 132: 18-20 Northgate Street



A. Room 1650, original doorway to Room 1660



C. Room 1660



D. Room 1760, doorway to Room 1770



B. Room 1660, corridor sub-division



E. Room 1790, original cupboard door (behind filing cabinets)

Fig 133: 18-20 Northgate Street

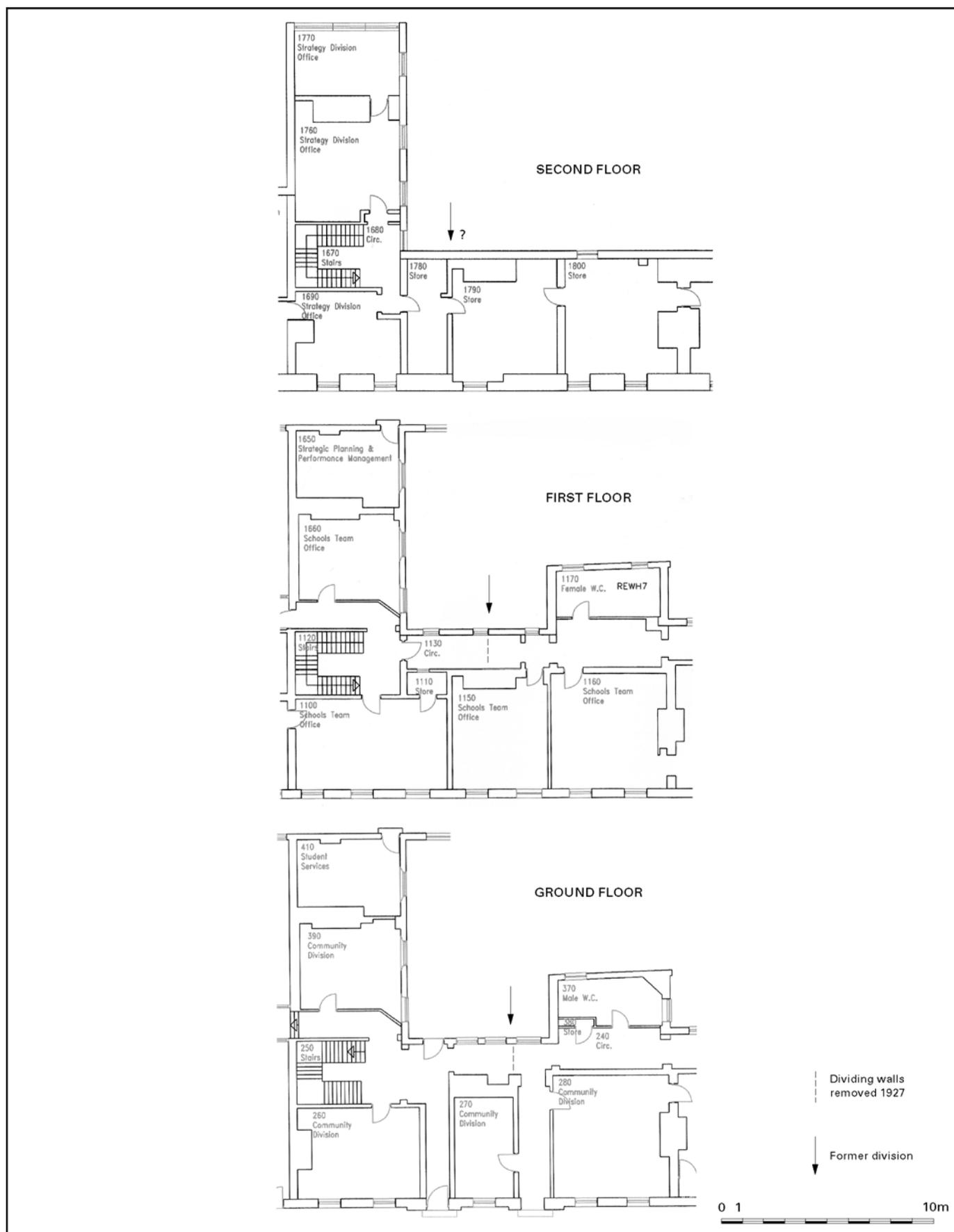


Fig 134: 18-20 Northgate Street, floor plans

1780	Probably original door frame to 1680 with modern fire door ( <i>N.B. asbestos notice</i> ). Main roof timbers (with modern reinforcement) are original, rest modern.	
1790	Cupboard door to left of former fireplace in east wall. West wall has original oval window (in pediment) with later, but early (?18th-century), modification to create opening section. Main roof timbers are original, rest modern.	
1800	Door frame to 1790 (modern door). Doorway in east wall (not a window as shown on survey plan) leading to disused former rooms (no floor) in rear extension.	

*Main condition / health and safety / access issues*

3.4.37 Stairs have modern repairs/reinforcement to balustrade in places. 19th-century moulded panels in corridors 250 part missing and rest poor. Rooms 390 (ground floor) and 1660 (first floor) have ceiling supported by two iron columns. Panelling adjacent to south window in Room 1100 split. Room 1110 has cracking in wall behind shelves. Some cracking in landing area 1680. Fire door between Rooms 1680/1780 has notice "*contains asbestos*".

**22 Northgate Street** (Listed grade II GV, LBS 307596)

*External description*

3.4.38 This property has two storeys plus basement and attic, with stone ashlar elevations and a slate roof. There is a single bay extension on the north side, with blind window openings to the street and a full height curved bay window facing the garden to the north. The original house was built between 1702 and 1704, and the extension was added in the late 18th or early 19th century (see also sections 2.4.18-19). The street frontage has early 18th-century style sash windows with exposed sash boxes (though the double-hung windows themselves are later replacements), and the windows of the extension have concealed sash boxes. There is a flight of six steps from the street to the central front door. The rear wing and outbuildings were demolished in the mid-20th century, and the main house is now joined to the east-west wing of the 1932 office block on the ground and first floors by contemporary openings and circulation areas. It is joined to No 20 by 20th-century inserted doorways on the ground and first floors, and by a 20th-century fire escape hatch on the second floor.

*Internal description*

3.4.39 Surviving original/early or other notable features include (date assumed to be late 17th-/early 18th-century unless otherwise stated):

Room	Feature	Date
<i>Basement</i>	Brick storage shelves in basement below northern extension	
<i>Ground Floor</i>		
180	(Stairs and circulating area.) Closed string staircase with barley twist balusters; straight flight to present first floor main landing rebuilt (for the addition of the 1930s block to rear) from original dog-leg layout using mixture of original components and 20th-century reproduction in same style, but probably in original position relative to ground floor (and basement stairs). Original door to Room 190.	C18 & C20

190	Cornice all round. Full height bay window; formerly with inner and outer double sash windows, inner now removed. (All contemporary with extension.)	late C18/ early C19
200	Formerly part of one room with Room 220 and north part of Room 210. Cornice on north and east walls (continues into Room 210). Window shutters.	
210	Formerly two rooms to north and south of a central hall (the northernmost one including Rooms 200 and 220), now one large room with modern arch in position of former north wall of hall. Cornice on east, west and south walls to north of arch (continues into Rooms 200 and 220). Cornice all round to south of arch and around ceiling beam; cornice has been extended to include former hall. Shutters to south window.	
220	Originally part of one room with Room 200 and north part of Room 210. Cornice on north and west walls (continues into Room 210). Full height window in north wall with shutters. Dado with plain timber panelling below on north and west walls, continues for short distance into Room 210.	
230	Originally through passage to street; 20th-century blocking at east (rear). Original door to street at west.	
<i>First Floor</i>		
1010/1030	(Stairs and landing area.) Stairs as 180 with modern reproduction at main landing level where connected to rear (1930s) office block; short flight of stairs from connecting landing to first floor (original) landing are original <i>in situ</i> , with dado and panelling below dado. Doors to Rooms 1040 and 1080. Cornice over landing area.	C18 & 20
1040/1050	Originally one room, now sub-divided (20th-century) to create corridor. East-west ceiling beam on line of original (pre-extension) external north wall. Modern plain fireplace.	C20
1060	Doors with L-hinges to Rooms 1040 and 1070. East-west ceiling beam on line of original (pre-extension) external north wall. Modern plain fireplace.	C20
1070	Cornice all round (part obscured on south wall). Bolection moulded fireplace with 19th-century cast iron fire surround and mantel.	C18 & 19
1080	Cornice all round. Door frame to Room 1030 (modern door). Panelling on most of east wall and around and below windows (but no shutters - plain, probably modern, reveals). Fireplace with ?19th-century patterned marble fire surround; mantel appears inserted into panelling and not original.	C18 & ?19
1090	Arched alcove in north-west corner.	
<i>Second Floor</i>		
1700	Timber framing on north wall. Main roof timbers visible. Doorway to landing 1710; door is original/early with modern added facing panel inside.	
1710	(Stairs and landing area.) Stairs with barley twist balusters except square balusters and simpler balustrade on top landing (but probably also original). Panelling to dado level.	



A. Front elevation



B. North elevation (1932 brick offices, No 12 Northgate Street, to left)

Fig 135: 22 Northgate Street



A. Room 190, detail showing position of removed inner sash



D. Stairs/landing 1010/1030 (modern reproduction balustrade)



B. Room 210



E. Outside Room 1090, junction of modern and original balustrades



C. Stairs 180, ground floor



F. Room 1070, fireplace

Fig 136: 22 Northgate Street



A. Room 1080 fireplace



C. Room 1730, fireplace



D. Room 1740, door latch



B. Room 1060 door with L-hinges



E. Room 1700



F. Basement, brick storage shelving

Fig 137: 22 Northgate Street

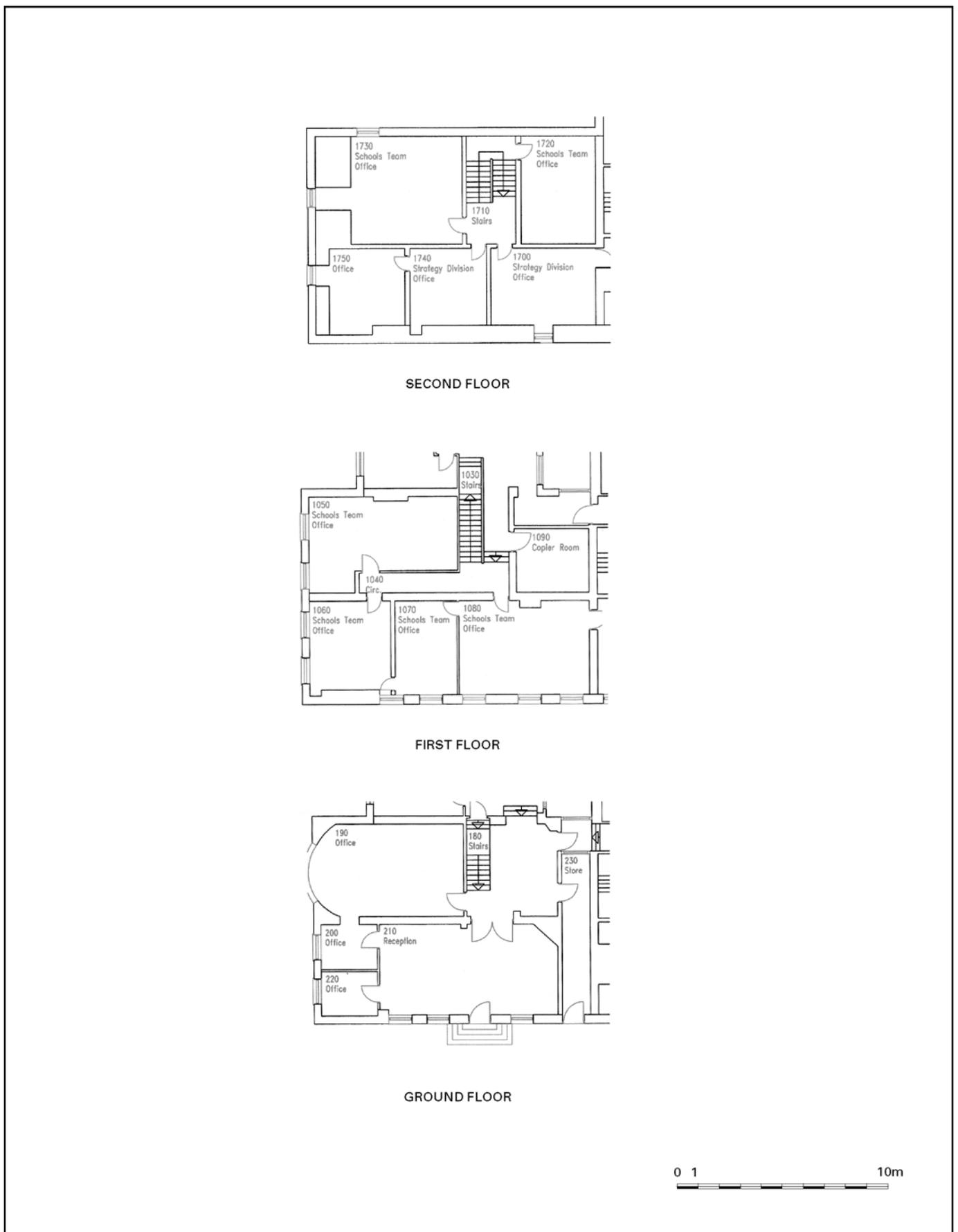


Fig 138: 22 Northgate Street, floor plans

1730	Door to landing 1710 with L-hinges. Panelling all round except either side of east window which is plain timber (?also original/early). Panelled cupboards either side of dormer. Fireplace in east wall with ?19th-century cast iron grate (behind mod blocking panel). Shelving, possibly original, to right of fireplace.	
1740	Door to landing 1710 with H-hinges and original latch with drop handle. Door to Room 1750 with original/early handle and latch (additional modern handle below). Main roof timbers visible.	
1750	Door to Room 1740.	

*Main condition / health and safety / access issues*

3.4.40 Water penetration on east wall in Room 190 at junction of extension with original building. Access to former through passage 230 is *via* steps.

**Court Offices, Northgate** (Not listed)*External description*

3.4.41 Built in 1883 as the County Police Headquarters this has three storeys with a slate roof and is of stone ashlar to the street (north and west) elevations, rusticated on the ground floor, with detailing in a lighter coloured stone, and brick to the rear (east and south) elevations. The western chimney is dated 'County Offices 1883'. There are moulded bands between storeys and below the parapet, those between the ground and first floors, and below the pediment, with dentil mouldings. The two front doors each have attached stone columns and pediments. The windows on the street elevations are sash windows with single pane sashes, probably original. (There is one two-pane upper sash on the ground floor but this is probably a replacement.) To the rear there are 6- or 8-pane sashes and a small number of 20th-century inserted or replacement metal windows. There is an original flat-roofed ground floor room projecting on the west side, with a semi-circular curved west wall and windows. An early 20th-century two-storey extension on the east side is very similar to the original front elevation. There is a late 20th-century first floor extension to south-east (over an earlier ground floor, currently part of Warwickshire Museum Store).

*Internal description*

3.4.42 The building has been generally modernised inside with few surviving early features; many rooms have none. The walls are plain and painted, in most over woodchip wallpaper. Most internal doors are probably original or early 20th-century, as are the main front doors. Many rooms have cornicing and some have dado or picture rails, all mostly original although there are a few probably modern sections. The substantial timber stairs with square section newels and ball finials are original, although modern partitions separate the stair well from the accommodation, probably for fire protection.

3.4.43 There have been a number of internal alterations. These include the insertion of the timber and glazed partition to create corridor 245 separate from Rooms 230 and 250, and the conversion of consultation rooms 40 and 50 entered from corridor 30 from store rooms originally entered from Room 20. Storage areas 160 and 161 retain remains of a former staircase, including a newel post; this was originally the domestic stair when the eastern part of the house provided separate living accommodation. The open access between Rooms 20 and 60 is a recent insertion.



A. Front elevation



B. Room 10 (entrance hall)



C. Stairs 180 (ground floor)

Fig 139: Court Offices



A. Room 20, cornice detail



D. Room 130 looking front



B. Room 60, fireplace



E. Room 140, door from Room 130



C. Room 130, looking to rear



F. Storage 161, remains of former domestic stairs

Fig 140: Court Offices



A. Room 70 (Judge's Chambers)



D. Corridor 245



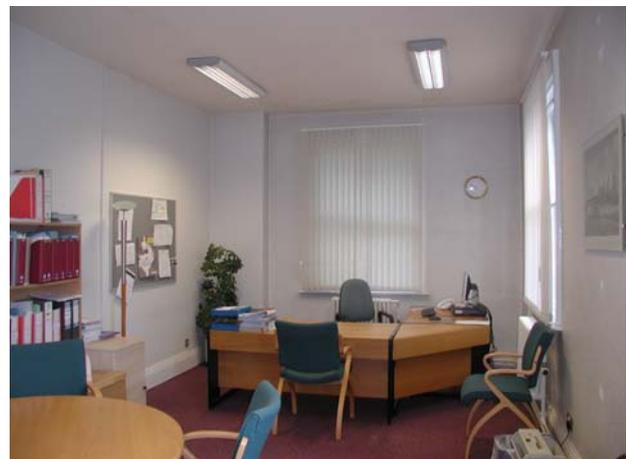
B. Room 201, remains of fireplace



E. Stairs 320 (second floor)



C. Room 200



F. Room 350

Fig 141: Court Offices

3.4.44 The only other surviving original or early features (in this case late 19th-century unless otherwise stated) are:

Room	Feature	Date
<i>Ground Floor</i>		
10/180	Patterned tile floor.	
20	Timber panel behind radiator in window.	
60	Timber panel behind radiator in window. Fireplace, probably original, in east wall.	
70	Timber panels behind radiators in windows.	
120	Wide (plain) reveals of doorway to 130 indicate thickness of original exterior wall, pierced when east extension constructed.	1911
140	Wide reveals of doorway to 130, as above but with panel mouldings.	1911
<i>First Floor</i>		
201	Remains of fireplace on chimney breast on W wall, now blocked and covered with woodchip wallpaper. (Original doorway to 210 now open.)	

*Main condition / health and safety / access issues*

3.4.45 There are no major condition issues. Some spalling of external masonry, particularly on ground floor west end. Access from street to both front doors is *via* steps, but there is room to create a ramp and new access through the existing low front boundary wall. An internal wheelchair stairlift, and possibly a vertical lift, could probably be added without significant physical damage; access within the floors is sometimes awkward but generally possible. Single step inside Room 120 is a trip/fall hazard. The building is not listed, and there are unlikely to be any major obstacles to adaptations necessary for DDA compliance.

*Warwickshire Museum Store and Offices, The Butts*

(Part Listed Grade II GV as  
County Library Headquarters  
End Pavilions, LBS 307400)

*External description*

3.4.46 The Listed portions are the two late 17th- or 18th-century stone structures with gable ends facing The Butts, which are of fairly similar but not identical design, referred to in the listing citation as the 'end pavilions', but which were originally outbuildings to Nos 18 and 22 Northgate Street. They are of two storeys, and have stone ashlar facing to the external elevations with brick behind, below slate roofs; the southernmost has a double basement (described as the lower ground floor and basement on WCC survey plans). Originally on opposite sides of an open space, they are now joined by early 20th-century infill having a street elevation of brick on the ground floor with roughcast and mock timber framing on the first floor. The remainder of the building is a mixture of 19th- and 20th-century additions and infill, mainly in brick around a steel frame, some with pitched slate roofs and some with flat roofs.

*Internal description*

3.4.47 Internally the two pavilions are utilitarian structures, and this was probably always the case. No significant internal architectural features are present, and although they have been much altered it is unlikely that any have been lost.

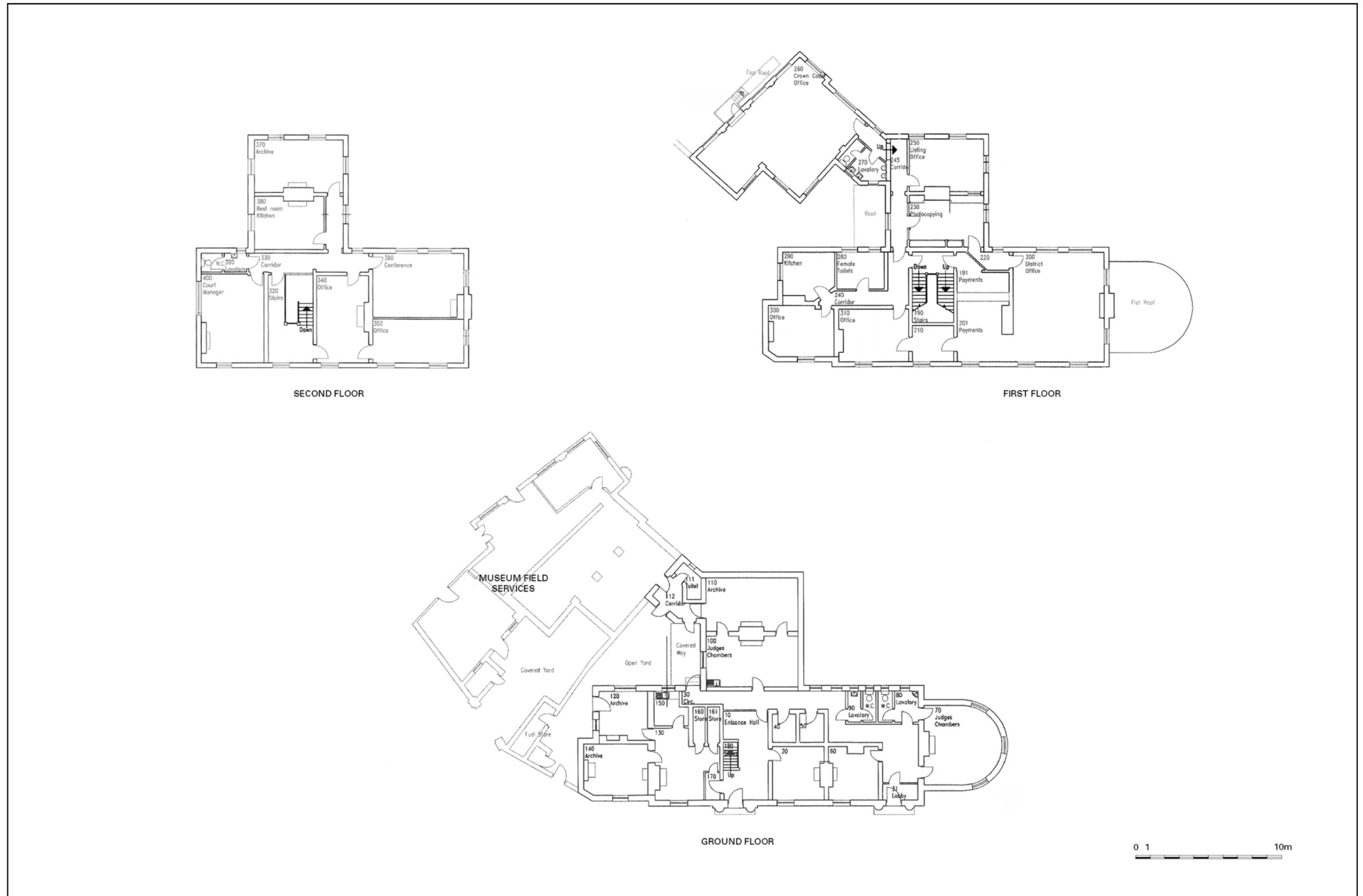


Fig 142: Court Offices, floor plans

*Southern Pavilion*

*Basement:* Rooms 05/06/07/08/10/15/20

*Ground floor:* Rooms 40/50/60/70

*First floor:* Rooms 220/290/300

3.4.48 The basic structure of the southern 'pavilion' survives, with 20th-century alterations and 20th-century infill to the north, and is used as offices. Internally, apart from original roof trusses the appearance is basically mid to late 20th-century with painted brick and plaster walls. It has two levels of original basement, which in Room 10 contains the remains of an air filtration plant from the 20th-century use as Civil Defence Headquarters. At the western end of basement Room 07 is the entrance to an underground escape shaft and passage which formerly emerged at ground level to the west of the building.

*Northern Pavilion*

*Ground floor:* Room 120

*First floor:* not accessible (not on survey plan).

3.4.49 The north and east walls of the northern 'pavilion' survive, and probably the west wall, but the south wall is a 20th-century rebuilding on approximately the original alignment. The north wall is partly obscured by additions and the covered yard, and the west wall is now encased in 20th-century masonry. The internal finish is painted brick, and the building is used for storage. The only access to the first floor is *via* a hatch in the ceiling/floor, and it was not inspected for this survey.

*19th- and 20th-century infill and additions*

*Ground floor:* Rooms 80/90/95/100/110/120/130/140/170/180/190/200/210/open yard/covered yard

*First floor:* Rooms 230/240/245/246/250/255/270/280

3.4.50 The main infill between the pavilions is a 20th-century steel frame construction of no architectural significance (an almost complete 1930s rebuild of the original Edwardian infill), and is laid out as storage and offices. There are 20th-century additions to the north and west of the northern pavilion, some of which incorporate 19th-century walls.

*Main condition / health and safety / access issues*

3.4.51 The roof consists of numerous elements, some pitched with roof valleys and skylights, some flat, and is prone to leaks. The front wall of the north "pavilion" is cracked and bulges below first floor window. The main pedestrian entrance (on the south wall) has a modern external ramp. Internally there are changes in level in the main work area on both ground and first floors, all of which have ramps. The only access from ground to first floor is *via* stairs. Room 120 is up three steps from Room 100 (store / loading bay). Rooms 110, 130, 140, 170 are up short flights of external steps. It would probably be possible to provide ramps to both of these areas. Although part of the building is Listed the interior is not of great significance and there are unlikely to be any major obstacles to any adaptations necessary for DDA compliance.



A. Front elevation, southern pavilion



D. Rear elevation, Room 170 (single storey building)



B. Front elevation, central infill and northern pavilion



E. Covered Yard, stone wall of listed northern pavilion



C. Rear elevation, 20th-century infill



F. Room 40

Fig 143: Warwickshire Museum Store and Offices, The Butts

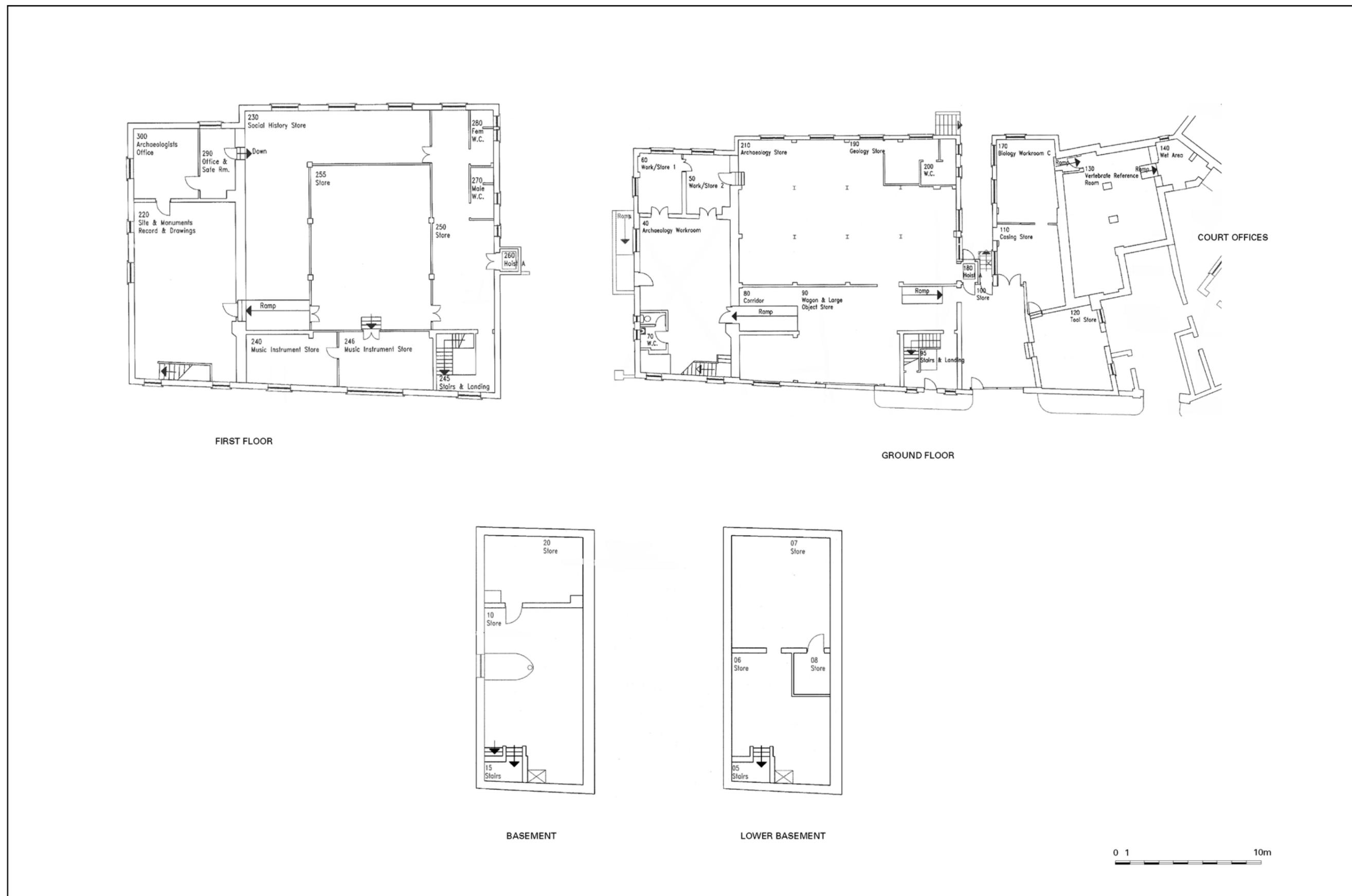


Fig 144: Museum Store and Offices, The Butts, floor plans



A. Room 190/210



E. Room 10, air filtration plant



B. Room 220



F. Room 07, towards Rooms 06, 08



C. Room 246



G. Room 07, west wall to former stairs

Fig 145: Warwickshire Museum Store and Offices, The Butts

### 3.5 Area D: Northgate House

**Northgate House** (Listed Grade II\* as Warwickshire County Council Staff Club, Northgate House and Northgate, LBS 307585)

#### *External description*

3.5.1 Northgate House is Grade II\* Listed Building lying within the Warwick Conservation Area. Built in 1698 as one of a pair with central carriage entrance, it is a very early example of a semi-detached house. It has two storeys plus basement and attic, a brick front elevation with stone dressings and a tile roof. The door is approached *via* a short flight of stone steps. There is a substantial bolection moulded architrave round the first floor central window, over the carriage entrance. The carriage entrance retains double doors to street, although most of the passage behind is now incorporated into the building. There are alternating arched and pointed dormers at the front. There is a late 18th- or (probably) early 19th-century extension on the rear half of the west side. The rear wing dates from the later 19th-century with 20th-century alterations, and joined to it is a large late 20th-century annex containing the council staff canteen which also serves as a function room.

3.5.2 The front elevation has sash windows on the ground and first floors. The windows themselves are later double-hung sashes, although they have exposed sash boxes almost flush with the wall, which is an early feature. Sash windows were becoming fashionable from the late 17th century and it is possible that a larger house such as this might have had sash windows at the front when built, although these would probably have been single-hung with only the lower sash opening. On the rear elevation the stair window has a segmental arched lintel and there is another similar blocked or blind arch in the centre of the original wall. There are sash windows at the west of the original wall and in the extension. (The adjoining house, in private ownership, retains original cross windows at the rear with similar arches.)

3.5.3 The garden is mainly lawns with trees/shrubs and some flower beds, and contains a moulded stone seat of uncertain date and the remains of two stone steps. The garden wall to Saltisford is mostly modern sandstone ashlar repair, with some modern brick. There is a narrow steep slope on the western boundary, indicating the edge of the former quarry.

#### *Internal description*

3.5.4 Surviving original/early or other notable features include (date assumed to be late 17th-/early 18th-century unless otherwise stated):

Room	Feature	Date
<i>Basement</i>		
10/20	Brick arched storage shelves. (N.B. stairs removed; only access is now <i>via</i> delivery chute.)	
<i>Ground Floor</i>		
40	Front door. Arch to stair area 90. Arched entrance to Room 50 (blocked with modern infill and door).	
50/60	Cornice at front. Panelling on south wall (some missing, some modern replacement). Shutters in west window.	
(70)	(N.B. The former through passage from carriage entrance is now incorporated into building - all modern.)	(C20)

90/100	Closed string stairs with barley twist balusters. Window on half-landing with later inserted opening section. Original doorway to Room 300 at top of short flight of stairs down to lobby 80. (This is no longer used and has modern glazed infill to opening. The present door to Room 300 is a modern insertion further south; this may have been done for Health and Safety reasons, to eliminate a potential fall hazard caused by a doorway at the top of a flight of stairs).	
290	Cornice and panelling all round; slight differences on west wall indicate blocked window. Shutters to windows in south wall. Marble bolection moulded fireplace (blocked with modern panel) containing re-used cast iron fireback dated 1693. Door frame to hall 40 (modern fire door). Doorway in north wall, now blocked.	
300	Ornate late 18th- or early 19th-century doorframe to passage 90 with modern glazed infill (see also 90 above). Ceiling has cornice all round and square moulded panels with repeating motif of rose, portcullis and fleur-de-lys which extends into the early extension, and is probably contemporary with it. Shutters in west window. (Bay window on north is modern.)	late C18/ early C19 as above  as above
<i>First Floor</i>		
310/320	Stairs as ground floor. Original door frames (modern doors).	
330	Door frame to landing/stairs 310/320 (modern door). Shutters to window in N wall. Plain probably 19th-century fireplace with 20th-century brick fire surround.	C19?/20
340	Door frame to stairs 320 (mod door). Bolection moulded fireplace. Window shutters and panelling below.	
350	Cornice all round. Door frame to landing/stairs 310/320 (modern door) with panel over. Window shutters (modern panels below). Door to Room 360.	
360	Window shutters.	
370/380/390	Doorway to linen cupboard (door removed).	
<i>Second Floor</i>		
400/410	Stairs as ground and first floor; part panelled over (modern) but original balusters probably <i>in situ</i> behind panels. Cupboard door with L-hinges on landing 410.	
420	Door frame (modern door).	
430	Cupboard in south-east corner.	

*Main condition / access / Health and Safety issues*

3.5.5 Evidence of water ingress at junction of bay window in Room 300. Basement access down barrel delivery chute is a fall hazard. The front door is accessed from street level by steep flight of steps; wheelchair access is impossible via the present front door without obtrusive changes. Wheelchair access to the modern rear annex is provided via an external door. Changes in level inside on the ground floor of the historic house would be difficult or impossible to make suitable for wheelchairs or the partially sighted. There is no wheelchair access to the upper floors



A. Front elevation



B. Rear elevation



D. Garden seat



C. Modern annex



E. Garden steps

Fig 146: Northgate House (Staff Club)



A. Room 290



D. Room 300



B. Room 290, fireplace



E. Room 300, former door and present door



C. Room 290, re-used cast iron fireback



F. Room 60 (lounge extension)

Fig 147: Northgate House (Staff Club)



A. Room 60 (lounge bar)



D. Room 350, door



B. Stairs 90



E. Room 340, fireplace



C. Room 350 cornice

Fig 149: Northgate House (Staff Club)

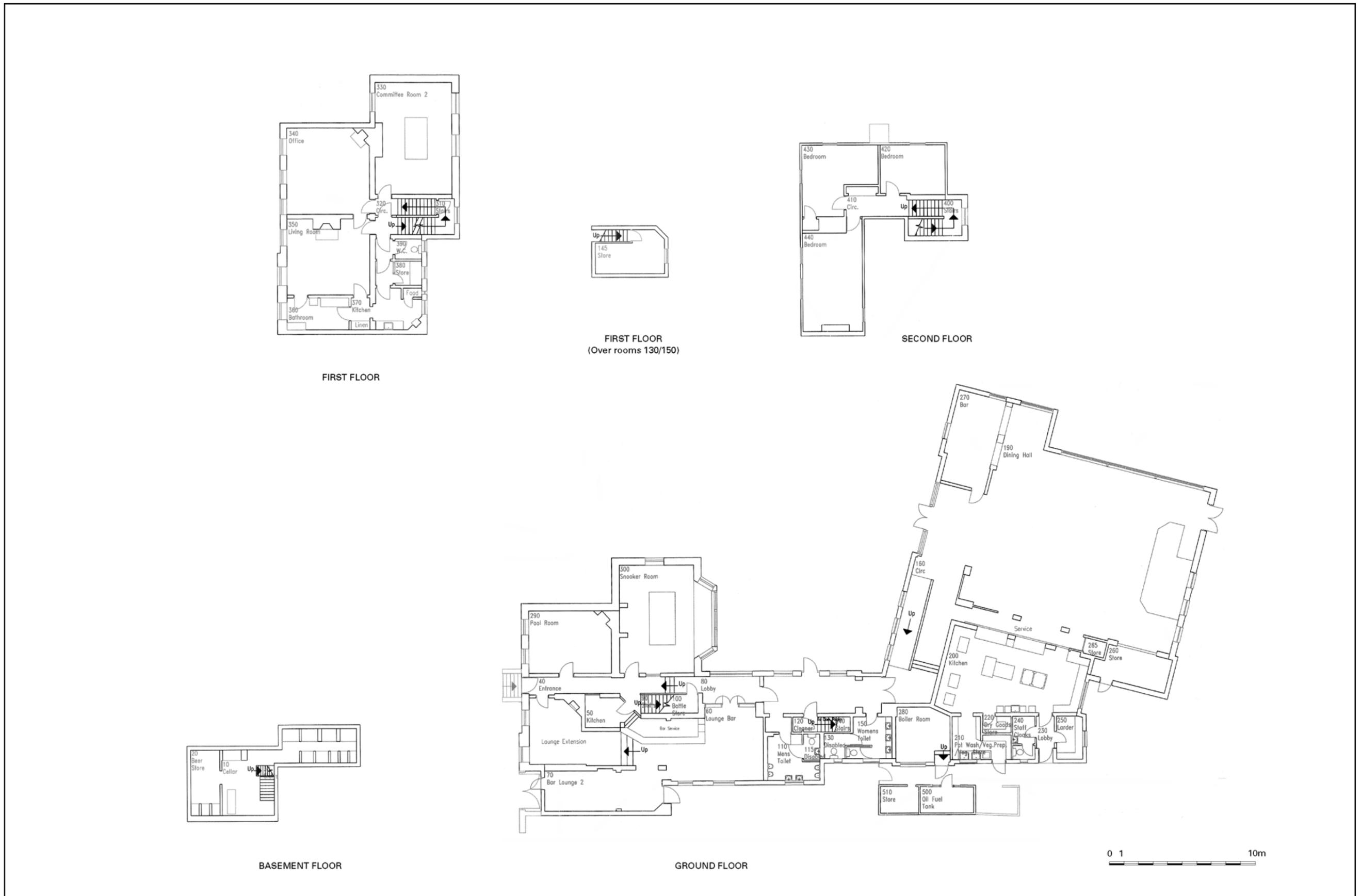


Fig 148: Northgate House, floor plans

## 4. Natural history and ecology

### **Summary of biological records for the area**

4.1 There are no statutory or non-statutory sites within any of the specified areas, nor are there any Biodiversity Habitats indicated on the Habitat Biodiversity Audit.

4.2 Within the study area the Warwickshire Biological Record Centre has a record for a Pipistrelle bat found dead at Shire Hall in 1983 and a Brown Long-eared bat found at the corner of Northgate Street in 1984. Outside the immediate area, but within approximately 100m, there are further records for Brown Long-eared bats in Church Street in 1998, at the Market Hall Museum in 1999 and in New Street in 2002.

4.3 The study area was surveyed by two members of the Warwickshire Museum Field Services Ecology Unit on 19th September 2006. The purpose of the survey was to identify any potential ecological value that the existing buildings and their immediate surroundings may have, together with any subsequent constraints and/or opportunities. The results for each area are given individually below. The original tabulated report, with plans and proformas can be found in Appendix D.

### **Area A, Main Shire Hall complex**

4.5 The site is a complex of Council buildings of various age surrounding two courtyards, which can be accessed via covered archways. The buildings are well maintained and bordered by roads on all sides. The roofs of the buildings are generally in good condition although there are some areas with gaps under tiles which could provide access into the roof space for bats and/or nesting birds. The site is urban, being in the centre of Warwick, and closely surrounded by other town buildings, although Priory Park and the College Garden at St Mary's Church are both within the immediate vicinity.

4.6 Within the outer courtyard is a large underground air vent above the former dungeon. A visit into this space revealed only low potential for bats as a hibernation roost as there were few holes and cracks in the brickwork. Within the inner courtyard is a small pond with a fountain. To the front of the complex is Shire Hall, with a water feature containing sculptures.

#### *Flora*

4.7 There is very little flora, except a few small areas of amenity grass in the outer courtyard, some aquatic vegetation in the pond and planted flowerbeds along the outside of the buildings along Northgate Street.

#### *Fauna*

4.8 Although the roof is generally in a good state of repair, there are occasional gaps under tiles which could provide access for bats and, given the presence of a bat here in the 1980s, together with the proximity of Priory Park for foraging, it is considered to have medium bat potential. The buildings and any shrubs present within the grounds have the potential for nesting birds. The pond is not considered suitable for protected species such as great crested newts.

### **Area B, North-west of Barrack Street**

4.9 The site includes a modern office building with car parking below, surrounded by small areas of amenity grassland with scattered trees and flower beds.

#### *Flora*

4.10 There are areas of short amenity grassland, which are mown all year, and semi-mature trees including sycamore, ash and London plane.

#### *Fauna*

4.11 There are no aquatic habitats and there is no cover for reptiles. The building has a flat roof and is therefore unlikely to support bats. There are small areas of shrubs which have potential for nesting birds.

### **Area C, East of Northgate Street, Northgate and The Butts**

#### *Nos 2-22 Northgate Street*

4.12 These are of varying age and design, all with tiled or slate roofs in a varying state of repair. There are a number of smaller outbuildings at the rear with small garden borders planted with a variety of garden/ornamental species. A small, grassed garden area is present at the rear at the southern end of the complex, again with planted borders and a small greenhouse and a tiled, pitched roof outbuilding, open on one side which is currently used as a garden store. There is a small grassed garden with planted borders and a mature beech tree at the northern end.

#### *Flora*

4.13 The landscaped gardens have amenity value although there are no notable species present.

#### *Fauna*

4.14 The ecological potential of all the buildings in this complex represents opportunities for bats and nesting birds. No internal inspection was carried out but numerous possible access points for bats were observed although no strong external evidence of use was visible. All access points comprised small holes, cracks present at varying heights and positions and uneven roof tiles.

#### *Court Offices, Northgate*

4.15 These have a pitched tile roof with occasional tiles in need of repair. There is a small garden area on the western side with mature small-leaved lime trees.

#### *Flora*

4.16 There are no notable species present. The lime trees have amenity value.

#### *Fauna*

4.17 The uneven tiles offer potential access points for bats and nesting birds.

### ***Museum Field Services, The Butts***

4.18 The Museum Field Services offices are of varying ages and mostly have slate and tile pitched roofs, areas of which have uneven slates. There is a small garden area to the rear together with car parking and a bicycle shelter, which continues to the rear of the court offices.

#### *Flora*

4.19 A large beech tree is present to the rear of the Butts with a fair range of flowering herbs planted in the area beneath. A number of notable sized hoof fungi are also growing on this tree.

#### *Fauna*

4.20 The beech does not present any opportunity for bats although it does provide sites for nesting birds. The bicycle shelter has recent evidence of use by nesting birds, most probably blackbird. No obvious flight lines for bats were seen and area lighting may present an issue for some species, although the uneven roof covering suggests potential access for bats into the roof space.

### ***Area D, Northgate House***

4.21 The WCC Staff Club consists of a main building and rear extension; brick built with pitched tiled roofs, together with a large modern annex at the rear with a flat roof. There is a large garden area to the rear of the buildings with short mown amenity grass, planted borders, occasional trees and hedgerows.

#### *Flora*

4.22 The garden area is not considered to have a high botanical value, although there are a number of trees and hedgerows along some of the boundaries that provide amenity value as well as possible flight lines for bats and birds.

#### *Fauna*

4.23 The main building has potential access for bats and nesting birds by way of gaps in the tiles or cracked tiles, although no obvious external use was evident. No access was gained to the inside of these buildings. Although there were also gaps around some of the overhangs of the flat roofed buildings, these were mostly covered in cobwebs and not considered suitable for use by bats. Although there is no obvious flight line into the buildings for bats or birds, the proximity of Priory Park would suggest that the site provides suitable habitat.

4.24 There is a bank along the western boundary of the garden (sloping down to the west, into a area formerly quarried), as well as bramble patches etc, that may provide suitable habitat for reptiles such as slow worms. Hedgerows and shrubs provide opportunities for nesting birds.

## 5. Statement of significance

### 5.1 Categories of importance

#### *Historic environment - archaeology and built heritage*

5.1.1 Archaeological sites can date from all periods from the Palaeolithic to modern times and come in a number of forms, including upstanding structures, earthworks, buried features or scatters of artefacts. They can be ranked in importance into four categories: *sites of national importance*, which will often but not always be Scheduled Ancient Monuments protected under the Ancient Monuments and Archaeological Areas Act 1979; *sites of regional importance*; *sites of local importance*; and sites which are too badly damaged to qualify for a higher grading. To these last can be added possible sites for which the evidence is dubious or unclear, and findspots of isolated archaeological material which do not necessarily indicate the presence of a site. The ranking of the importance of a particular site depends on criteria such as those used to assess sites for Scheduling which include *period, rarity, quality of documentation, group value, survival/condition, diversity and potential* (DoE 1990, Annex 4). In addition Warwickshire County Council in January 1994 adopted extra criteria to be applied within the county of *local association and amenity value*.

5.1.2 The built heritage includes buildings, structures, parks and gardens of architectural or historic interest. The most important historic buildings are individually Listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 and classified in three grades: Grade I, buildings of exceptional interest; Grade II\*, particularly important buildings of more than special interest; and Grade II, buildings of special interest. Areas of special historical or architectural interest can be designated as Conservation Areas. Other unlisted buildings outside conservation areas can also be of sufficient local interest or importance to merit consideration.

5.1.3 Nationally important historic parks and gardens are included in a non-statutory register maintained by English Heritage (English Heritage 2001, as amended) in which they are classified in three grades: Grade I, parks and gardens of exceptional interest; Grade II\*, parks and gardens of great quality; and Grade II, parks and gardens of special interest. In Warwick District other locally important parks and gardens are included on a Local List (WDC 2003, paras 9.8-9.9).

#### *Historic collections*

5.1.4 The historic collections of paintings, furniture and silverware belonging to the County Council and the Warwickshire Justices Plate and Wine Fund are itemised in a recent Inventory prepared by Warwickshire Museum (Warwickshire Museum 2006). There are no items of exceptional monetary value in the collections although a number can be valued in tens of thousands, such as the silver reproduction of the Warwick Vase, valued at £45,000 and kept in the strongroom of the Judges Lodgings. Many have been purchased with public money and others have been presented to the County by various patrons and former councillors, but few are publicly accessible at present.

5.1.5 This document concentrates on the significance of the collections in relation to the buildings in which they are housed, and does not consider in detail their importance in art historical and financial terms. On this basis the items can be divided into three levels of significance, not necessarily directly related to artistic or financial value:

- The highest significance will be for items directly related to the function of the buildings or acquired as part of that function over the years. This would include the

ceremonial pikes in Shire Hall, the regalia in the Chair of the Council's Office, and the Justices' Plate, paintings and furnishings in the Judges' House. There should be a presumption that these should be retained *in situ* wherever possible. Before implementing a proposal to replace or remove any item in the Inventory an assessment should be carried out so that objects in this category can be identified and the impact of the proposal on it and its context properly considered.

- Of lesser significance are items with relevance to Warwickshire that are appropriately housed in Shire Hall although there is no direct connection with their location. This would include items such as Warwickshire views and portraits of local notables such as that of Corbet and his dog Trojan. There should be a presumption that these objects should be retained in the public domain and, certainly for those directly relevant to the Council, most appropriately within the County Council although their specific location is not crucial.

- Of low significance are purely decorative items with no direct connection to Warwickshire, many acquired more recently, such as the royal portraits in the Ante-chamber and the Chinese ceramics in various locations.

5.1.6 It is sometimes difficult to determine the boundaries between an item that forms part of the historic character of a place, and may therefore merit a presumption that it should be retained *in situ* where possible, and an item that is merely old, worn out, obsolete or simply unimportant, when removal or replacement would be appropriate. This is a particular problem with relatively modern objects, and a degree of subjectivity may be inevitable. Note that some items in the Inventory, such as the engraved windows and Coats-of-Arms in the Council Chamber and the gasoliers in Shire Hall will be considered as part of the fabric of the building and, as in the case of the latter, where the building is listed will have the same statutory protection as the rest of the building.

### *Ecology*

5.1.7 In addition to international designations, inland and coastal ecological sites can have statutory designation as nationally important Sites of Special Scientific Importance (SSSI) and National Nature Reserves (NNR). None of these are relevant to Shire Hall. The main relevant statutory distinction is between species which have absolute protection, such as bats, and those which have selective or lower levels of protection, such as slow-worms and birds during the nesting season.

5.1.8 Non-statutory sites of county, district or parish nature conservation importance are afforded protection under local planning policies. In Warwickshire these are known as Sites of Importance for Nature Conservation (SINC) and Ecosites. None are relevant to Shire Hall. Other notable habitats and species having UK and/or Local Biodiversity Plans are also protected under local planning policies.

## **5.2 Area A, Main Shire Hall complex** (Fig 150)

### **Buried archaeological remains**

#### *Anglo-Saxon settlement and possible defences*

5.2.1 Area A is wholly within the medieval defended area, which is probably that of the original Anglo-Saxon town. There is potential for evidence of occupation within the defended area, such as rubbish pits and building remains, although intensive occupation in this period may not have extended over the full defended area. Any survival is likely to be in scattered pockets across the area, in relatively undisturbed areas between later development. There is also potential for evidence to test the theory expounded by Klingelhofer that the original Anglo-Saxon defences enclosed a smaller area; this would be in the south of the site, around the area of the former Pebble Lane. To confirm the potential it will be necessary to verify the actual survival of remains of this period by field evaluation. (This also applies to all buried archaeological remains discussed below.) Anglo-Saxon urban remains are relatively rare and any surviving are likely to be of regional or greater importance.

#### *Medieval urban settlement*

5.2.2 The whole of the area lay within the medieval town, and there is potential for survival of remains, again in pockets of relatively undisturbed land between the disturbance caused by later development. Most of the medieval frontages are now damaged or destroyed by later cellars, or are under modern streets, therefore the greatest potential is for ancillary remains such as outbuildings, rubbish pits, wells etc. towards the rear of the tenements, rather than important structural remains. There is a single plot on Old Square for which there is no record of a basement, and it is possible that medieval building remains could survive here. The remains of Pebble Lane, which went out of use in the re-planning after the Fire of 1694, may also survive with frontage buildings.

5.2.3 Medieval urban remains are relatively common across England, but those of Warwick are less well investigated than those of Coventry, Oxford or Winchester. The importance of this site is enhanced by the existence of good late medieval and post-medieval documentary evidence, which permits the identification of specific tenements and their owners/occupiers. Given the likely disturbance from later development, any surviving remains are likely to be of local or regional importance depending on their state of preservation.

#### *Post-medieval Gaol and Barracks*

5.2.4 The quadrangles of the 1930s office development probably preserve the foundations of the post-medieval gaol and barracks buildings below the surface, but it is unlikely that any remains survive below the present buildings. These, together with disturbance during the construction of the present offices, will have severely impacted on any earlier remains that may once have been present. The late 18th-century Governor's House is the only element which of which a substantial amount may have escaped removal by later basements. There is extensive documentary evidence for these buildings, and any surviving below-ground remains are only likely to add minor detail to the existing knowledge and will only be of local importance.

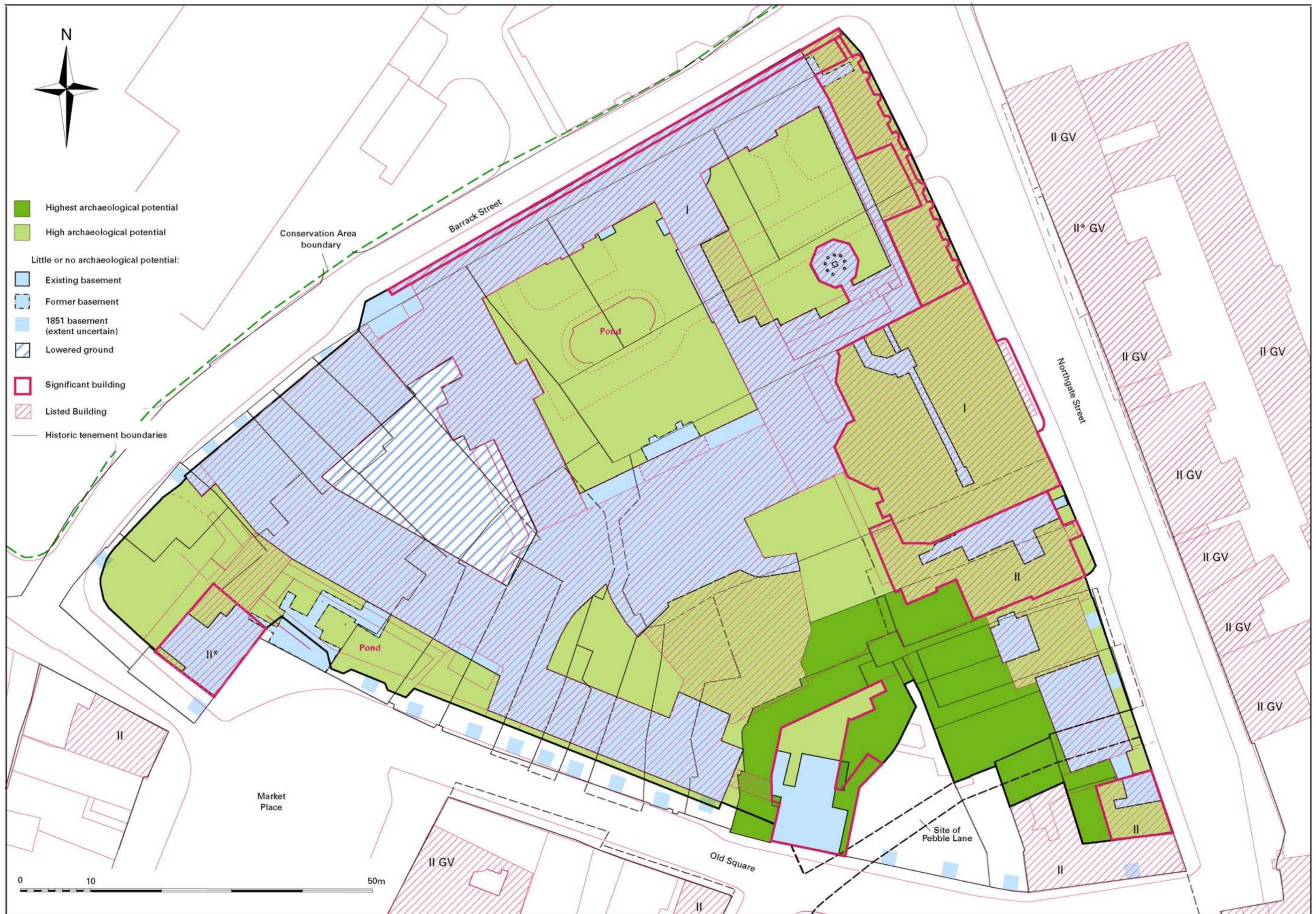


Fig 150: Main Shire Hall complex (Area A), significance and constraints

## Listed and other buildings

### *Significant buildings*

5.2.5 The Shire Hall and Courts are Listed Grade 1, and are one of the most important and impressive buildings in Warwick, although it was refaced in 1948 to the original design (but with the addition of the County coat of arms). As well as the external elevation to Northgate Street, the significance lies in the impressive internal features, from the large open space of the Shire Hall itself to the decorative ceilings and historic fittings of the original two courts (Courts 1 and 2) on the ground floor. Court 3, the former Grand Jury Room on the first floor, also has a fine ceiling and fireplace, although its court fittings and furniture are modern. The present use does not always display the interior to its best advantage, particularly in the case of Shire Hall where modern portable low-height partitions have been used to create small working areas. These disrupt the impression of space at floor level, but are removable and do not interrupt the view of the fine ceiling.

5.2.6 The former gaol is also listed Grade I but essentially only its façades survive. Its late 18th-century Northgate Street elevation, although simple and described by the architectural historian Alec Clifton-Taylor (1981, 35) as 'neo-classicism at its most austere', is important as one of the earliest Greek revival buildings in the country. It has been altered by the addition of a 19th-century arched vehicle entrance with 20th-century pedestrian side passages and 20th-century windows, but retains its essential character. Below ground, the 17th-century octagonal dungeon survives below the outer courtyard, visible through an open grille and accessed by stairs from the courts, and is of considerable historic interest and importance. The Barrack Street elevation is basically a plain stone wall with central entrance (now blocked) and inserted 20th-century windows. Both elevations were refurbished as part of the 1930s office development.

5.2.7 Other than the façades, all that remains of the gaol are some elements of the original range fronting Northgate Street, which had been incorporated in the 19th-century barracks and survive as part of the 1930s offices although not readily identifiable. Everything else was demolished c.1860 when the barracks were built.

5.2.8 Abbotsford House is Listed Grade II\*, and is an impressive example of an early 18th-century town house. It has also been refaced (in this case in the 1960s), as far as possible to the original design and detailing, as the original stonework had by that time deteriorated to an appalling condition. The main importance lies in the front elevation; the side and rear elevations are plain, and the latter has been refurbished, and although now visible were not originally designed to be seen from the street. Internally there is only one room that remains substantially unaltered, with its original panelling; the rest has been modernised although a few original features remain.

5.2.9 The Judges House of 1814 is listed Grade II, and although not of great architectural distinction is, in the words of Clifton-Taylor (1981, 34), 'a model of simple dignity'. It is also of significance as the spiritual home of the Warwickshire Justices of the Peace and the High Sheriff of the county. No 1 Northgate Street is also listed Grade II, and is an example of a domestic building from the reconstruction after the Fire of 1694. The listing does not consider either for group value, although as discussed below they do contribute to the streetscape. The former retains more original internal features.

5.2.10 The unlisted former Coffee Tavern and Dale Temperance Hotel (16 Old Square), built in 1880, is not as flamboyant as many buildings of that period but still boasts several ornate features, some purely decorative such as the terracotta panels

over the doors. It is a fine example of a date and architectural style of building that is relatively rare in Warwick. It is also important as evidence of the Temperance Movement, a very significant force for social reform in the 19th and early 20th centuries, and the need to open such buildings as a counter-attraction to the highly-decorated 'gin-palace' public houses of the brewers. It is arguably of a standard to merit listing at Grade II, particularly when group value with the adjacent former Post Office (of similar period) is considered; when central Warwick was Listed in 1953 Victorian buildings were not then highly regarded.

#### *Buildings of lower or no significance*

5.2.11 The 1932 offices are also included in the Grade I listing of the former gaol, and are certainly nicely proportioned and detailed, with some features of architectural interest. Internally there are a few areas where the fittings and décor shows a restrained *art deco* influence. The most important individual feature is probably the memorial window, but for historic rather than architectural reasons. It is however doubtful that the offices would merit Grade I listing in their own right, although they were well thought of at the time and their designer, the County Architect A.C. Bunch, later became the first local government architect to be elected to the prestigious position of Vice-President of the Royal Institute of British Architects (Mitchell 1988, 182).

5.2.12 Both the 1958 Council Chamber and offices, and the 1966 Ante-chamber, Committee Rooms and offices, are held to be covered by the Grade I Listing of the 1932 Offices. However, they were built after the original Listing, and are covered only as extensions of the Shire Hall/Courts and former gaol/1932 offices, rather than because of their intrinsic merits. They cannot be considered to have the significance of a true Grade I Listed building, although parts of them are not without interest.

5.2.13 The 1958 Council Chamber is technologically interesting for the construction of its roof, and internally is representative of public architecture of the period. It retains its original fixed furniture, designed for the purpose. However, the external elevation was deliberately given plain treatment as it cannot be seen from outside the complex. The 1958 offices are in typical 1950s style and are undeniably extremely dull and bland. The 1966 Committee Rooms, Ante-chamber and offices present a more distinctive external appearance with integral abstract decorative panels, very characteristic of the period, facing the inner quadrangle. The public areas also retain contemporary internal design features such as stairs and light fittings. The former Emergency Centre in the basement is an important relic of the post-1945 'Cold War' period. It must be remembered that most architectural styles go through a period when they are considered unfashionable, but then begin to be appreciated again. Buildings from the 1950s and 1960s are currently generally unfashionable. Whilst it is impossible to envisage the 1958 offices ever being considered important, or even desirable, the Council Chamber and the 1966 work are more interesting and could conceivably be considered to be of some merit in the future. Internally, the Ante-chamber in particular possesses a certain 1960s elegance.

5.2.14 The 20th-century extensions of the Judges House are also held to be Listed Grade II, again by virtue of being extensions to the Listed 1814 House. Whilst their style is influenced by that of the late 17th- and early 18th-century buildings in Northgate Street (three of which they replaced), they are of no architectural importance.

## Historic collections

### *Shire Hall and the Courts*

5.2.13 The Shire Hall and the Courts contain a number of items specifically related to their ownership and function. The gasoliers in the former (Inventory Ref 1E, 92), which have been converted to electricity, form an integral part of the building and are likely to be protected under the Grade I Listing. The ceremonial pikes in Shire Hall (IR 62) and the carved coats-of-arms in the Courts (IR 2E) are relevant to the activities and functions these represent. There are paintings with local connections, including a series of Shakespearean scenes (IR 3E, 37), and part of the collection of framed portrait photographs of former High Sheriffs. A number of oriental vases, some bought with public funds and others presented to the Council, are in keeping with the date of the building but have no direct relevance to Warwickshire (IR 57-61).

### *Judges' House*

5.2.14 This houses the Warwickshire Justices' collection of plate which, along with other high-value items on the Inventory owned by the County Council, is mostly kept in the Strong Room. The collection includes the silver replica of the Warwick Vase mentioned above (IR 74) and various presentation items with Warwickshire connections as diverse as the 4th Battalion Royal Warwickshire Regiment Officers Challenge Cup (IR 76) and three vases presented by the National Association of Local Government Officers (NALGO) in 1974, along with much silver cutlery. In addition there is an extensive collection of royal portraits and other pictures, some relevant to Warwickshire such as the portrait of Sanderson Miller, architect of Shire Hall (IR 6) and the remainder of the collection of framed portrait photographs of former High Sheriffs. Much of the furniture is of 18th- and 19th-century date, entirely appropriate to the building although with no direct relevance to the Warwickshire or the County Council. The bottom of the main stair is guarded by a life-sized County emblem in the form of a late 19th-century stuffed bear with ragged staff (IR 1E).

### *Council Chamber, Ante-chamber and Committee Rooms*

5.2.15 The etched windows of the Chamber are an important part of the design, and are an integral part of the building (IR 3E). The curtains are original (the only such survivors), and thought to be by an important internationally known local designer, Tibor Reich (IR 3E). There is a large collection of paintings, some with Warwickshire connections plus a number of royal portraits. Presentation items include a gavel and block, also a gift from NALGO (IR 64), a patent with emblazoned County Council Arms (IR 66), various items of plate and other objects. Furniture ranges from 18th-century to contemporary, and there are a number of ceramic vases of various dates, of no relevance to the Council or county.

## Conservation Area and streetscapes

5.2.16 The whole of Area A is within the Warwick Conservation Area, and contributes to four streetscapes: Northgate Street, Barrack Street, Market Place and Old Square.

### *Northgate Street*

5.2.17 The Northgate Street frontages of the Shire Hall and the former gaol are substantially unchanged in main details from their appearance in the late 18th century and, together with the early 19th-century Judges' House, form one of the most impressive and important townscape elements in Warwick. They are also of great historic importance, having been at the centre of county administration from

the 16th century. The alterations that have taken place, such as the refacing of Shire Hall in 1948, and the creation of the 19th-century arched entrance and replacement 20th-century windows in the former gaol, have been carried out sensitively and do not detract from the impressive overall appearance. They complement the late 17th- and early 18th-century domestic buildings on the east side of Northgate Street, which in a large part remains much as it would have looked in the late 18th and 19th centuries. Northgate Street is not merely important in local terms; Clifton-Taylor (1981, 34) states that it 'has been described as one of the most handsome Georgian streets in the Midlands'.

5.2.18 The Northgate Street frontage to the south of the Judges' House was occupied by late 17th-/early 18th-century houses until the 1950s and 1960s, when those between the Judges House and No 1 Northgate Street (which survives) were replaced. The design of the new building respected that of the originals (and of the houses on the east side of the street), with ground and first floors plus attic dormers, but is bland in comparison, with very plain detailing. It is also set back from the street, with a wide entrance adjacent to No 1, and these changes combine to break up the original building line which was formerly continuous along the back of the pavement. The 20th-century building is certainly not an eyesore, but it is a weak point in the streetscape.

#### *Barrack Street*

5.2.19 The main feature of the south side of Barrack Street (and also visible from both the north end of Northgate Street and Northgate) is the 18th-century north wall of the former gaol. This was altered when the arched entrance was blocked and windows were inserted for the 20th century office development behind, but still gives the impression of solidity and remains very distinctive. It is integral with, and must be considered as of similar importance to, the gaol frontage on Northgate Street. There is little else historic about the appearance of Barrack Street today. All the buildings previously standing to the west of the former gaol were demolished in the mid 20th-century, being replaced by the Barrack Street wing of the 1966 offices, with the area behind Abbotsford House left as an open space. (The north side of the street, other than the Methodist Church at the eastern end, has of course been completely redeveloped with the 1970s Barrack Street office and car park: see Area B below.)

#### *Market Place*

5.2.20 The rectangular open space of Market Place, the north side and north-west corner of which is within Area A, is an important focal point in the north-west of the town centre. It contains the 18th-century Market Hall at the southern end, and the buildings along the eastern side have mainly 18th- and 19th-century elevations but with 20th-century alterations. The western side is a mixture of modern buildings at the south end, with the truncated remains of the former Holloway and 18th/19th-century buildings with 20th-century shop fronts in the centre.

5.2.21 The only surviving historic building in Area A at the north of Market Place, and the most important individual element of this part of the streetscape, is Abbotsford House at the north end of the western side of the square. It is important architecturally (listed Grade II\*) but its original context, with buildings adjoining each side, was lost with post-war redevelopment and it now stands in isolation (apart from the 1960s bridge connection to Shire Hall). The north side of Market Place is set further back than formerly and now consists mainly of the 1966 offices and landscaping with the main entrance to Shire Hall, although the end of the adjoining 1958 offices which continue into Old Square is also visible.

5.1.22 Arguably the present substantial civic building provides a stronger focus on the north side of the square than the previous small buildings, which mostly dated from the late 17th or 18th centuries but with 19th or 20th century alterations and shop fronts, although it has changed its character. The presence of the main entrance to Shire Hall since 1966 has given Market Place, particularly its northern side, a new importance, not only both physically and aesthetically but also as the main point of public connection with the County Council and its services. Any changes that are made should be carefully considered, and respect this importance. Architecturally the style of the Shire Hall building contrasts strongly with the older buildings in Market Place. However, given the other changes that have taken place, particularly on the west side, it is not the only anomaly in an otherwise unspoilt streetscape. Its roofline is currently marred by a very ugly array of aials.

### *Old Square*

5.2.23 That part of the north side of Old Square within Area A consists of the 1958 council offices and the former Coffee Tavern. Neither are listed. The former is of distinctly bland appearance, with plain walls and simple regularly spaced windows. The Coffee Tavern is completely different, and indeed Old Square represents something of a contrast, with a concentration of late Victorian architecture which is rare in central Warwick. Adjoining the Coffee Tavern to the east (but not in council ownership and therefore not within Area A) is the former main Post Office, also dating from the 1880s. Post Offices were once one of the most important buildings in a town, and their design reflected this. Again it is not listed. The two buildings together make a distinctive and striking contribution to the streetscape, complemented by the ground floor window arcade of No 13a on the opposite side of Old Square, which are a later 19th-century insertion in Victorian gothic style.

### *Ecology*

5.2.24 There are no areas of high ecological significance. There is very little flora, except a few small areas of amenity grass in the outer courtyard, some aquatic vegetation in the pond and planted flowerbeds along the outside of the buildings along Northgate Street. Although the roofs are generally in a good state of repair, there are occasional gaps under tiles which could provide access for bats and given the presence of a bat here in the 1980s, together with the proximity of Priory Park for foraging, it is considered to have medium bat potential. The buildings and any shrubs present within the grounds have the potential for nesting birds. The pond is not considered suitable for protected species such as great crested newts.

### **5.3 Area B, North-west of Barrack Street** (Fig 151)

#### *Buried archaeological remains*

5.3.1 The redevelopment in the early 1970s has largely destroyed any remains of the medieval (and possibly Anglo-Saxon) defences and medieval suburban tenements that may once have been present. Around the northern end of the office and car park it is possible that remains of medieval or early post-medieval occupation may survive in a narrow strip on the Saltisford frontage, between the road and the area excavated for the construction of the building. This area is known to have been open gardens since at least the 18th century, but it is possible that it may have been occupied previously although no earlier documentary records to confirm the position were located for this survey. Its use from the 1920s as a council car park and depot would probably have relatively little impact on underlying deposits. Survival of such earlier remains as may be present would depend principally on the extent of disturbance during the 1970s development. The surface appears to have been built up slightly, and evidence could survive below the landscaping. Any remains present are unlikely to be unusual or particularly well-preserved, and of anything more than local importance.

5.3.2 The area of landscaping covering the northern part of the Area was excavated or disturbed during the 1970s redevelopment, although no records to confirm the depth of the works were available for this study. However in places the present ground surface and landscaping is raised above the surrounding streets. It is unlikely that any significant remains survive in this area, but it is possible that fragmentary evidence of the early post-medieval tenements could survive below the landscaping material if the disturbance from the development was relatively shallow or did not cover the entire area.

#### **Listed Buildings**

5.3.3 The building is not listed, and is an example of 1970s brutalism of no architectural importance.

#### **Conservation Area and streetscape**

5.3.4 The whole of Area B area lies outside the Warwick Conservation Area. The car park, library and office building occupies a prominent position on sloping ground, directly facing traffic entering the centre of Warwick from the direction of Birmingham (north-west) along Saltisford. From the north it provides an uncompromisingly stark introduction to the town centre, quite out of keeping in appearance and scale with the rest of the central area. Clifton-Taylor (1981, 44) describes the building as '...the eyesore of the town', and comments that 'the approach from the north-west, with the tower of St. Mary's dominating the skyline, used to offer one of Warwick's most delightful views. This has been totally destroyed.' Few would disagree with him. The visual impact is softened by landscaping and tree planting, but this is less effective in winter, when there are no leaves on the trees. Its impact on the streetscape, the setting of the Conservation Area and the wider townscape is entirely negative.

#### **Ecology**

5.3.5 The only ecological significance is some potential habitat in the shrubbery for nesting birds.



Fig 151: North-west of Barrack Street (Area B), significance and constraints

## **5.4 Area C, East of Northgate Street, Northgate and The Butts**

(Fig 152)

### **Buried archaeological remains**

#### *Anglo-Saxon occupation and possible defences*

5.4.1 Almost all of Area C is within the medieval defended area, usually thought to coincide with the area within the Anglo-Saxon defences. The line of the defences may cross the site at the north end, and there is also potential for evidence to test the theory expounded by Klingelhofer that the Anglo-Saxon defences enclosed a smaller area; this would be in the south of the site, in or around No 2 Northgate Street, where the suggested alignment runs roughly along the boundary between No 2 and St Mary's Church.

5.4.2 As for Area A, there is potential for evidence of occupation such as rubbish pits and structural remains, although it appears from current evidence that intensive occupation in this period did not necessarily extend over the full area enclosed by the medieval defences. Any survival will be in scattered pockets across the area, in relatively undisturbed areas between later development, with the greatest potential probably around No 2, where the garden has remained relatively undisturbed since the Fire of 1698. Anglo-Saxon urban remains are relatively rare and any present are likely to be of regional importance.

#### *Medieval urban settlement and defences*

5.4.3 As discussed above, the line of the defences may cross the north end of the site. Within this line, much of the area is known to have been occupied in the medieval period, and there is potential for survival of remains, again in pockets of relatively undisturbed land between the disturbance caused by later development. Most of the medieval frontages are now damaged or destroyed by later cellars, or are under modern streets, therefore the greatest potential is for ancillary remains such as outbuildings, rubbish pits, wells etc. towards the rear of the tenements, rather than important structural remains. The importance of the archaeological remains is enhanced by the existence of good late medieval and post-medieval documentary evidence, which permits the identification of specific tenements and their owners/occupiers.

5.4.4 The areas of highest potential are the garden of No 22 Northgate Street together with the small grassed area at the west of the court offices, and also that of No 2 Northgate Street. Both of these areas have remained free from any development subsequent to rebuilding after the fire of 1694, and preservation of archaeological remains is likely to be good. The present surface of the garden of No 22 is some 1.5m above street level, which indicates that it has been built up from the pre-fire level. Any archaeological remains present should therefore be in a particularly good state of preservation, with little if any later disturbance. Its garden is known to have been the site of houses burnt down in the fire. Occupation on the site is documented back to at least the mid 15th century, and is likely to have originated much earlier in the medieval period. A narrow strip at the front of the former tenements was taken for road widening after the fire, but the majority of the foundation and floor levels should survive below the later garden soil, together with evidence of activity immediately to the rear of the former houses. (It is possible that the front foundations of the original houses may survive below the adjacent pavement, though this is not within the boundary of the study area.) The small area of garden between the offices and Northgate Street is at approximately street level, but if the pre-fire houses extended into it their remains may survive and it also presents the opportunity to



Fig 152: East of Northgate Street, Northgate and The Butts (Area C), significance and constraints

confirm whether the ditch is present on an alignment that crosses Northgate Street at this point.

5.4.5 Occupation of No 2 can again be traced back to at least the 15th century and also probably has earlier origins. Although the present garden will not contain remains of the main buildings fronting the street (and will have been slightly disturbed by the now-demolished outbuilding shown on 18th- and early 19th-century maps), it is likely to have well-preserved evidence of ancillary activities at the rear of the tenement, such as wells, cess pits, rubbish pits and possibly outbuildings. Remains of the pre-Fire house will survive below the present No 2, but disturbed by its foundations and basement. This disturbance would normally reduce their importance, but the association with potentially well-preserved ancillary remains in the garden suggests they may retain a higher significance.

5.4.6 Well-preserved remains of medieval houses, potentially including floor levels, are rare in towns, and any such remains in the garden of No 22 (and possibly also extending into the court offices) will certainly be of regional importance, and might conceivably be of national importance. Remains of ancillary activities associated with occupation, and disturbed structural remains, are more common and are likely to be of regional or local importance, to some degree depending on their state of preservation. Details of the ditch alignment are of local importance.

### Listed and other buildings

*Nos 2-10, 14-22 Northgate Street (historic houses on street frontage)*

5.4.7 Architecturally the most important individual building is Nos 18-20 Northgate Street, which is listed Grade II\*, reflecting its more ambitious design. The rest of the buildings on the east side of Northgate Street are of simpler style, but contribute to Group Value and are listed Grade II GV. The listing citations do not refer to the interiors of the buildings. Whilst some have been extensively altered, others retain many original or early features, and these should also be considered an important element of the building (and will in any case be protected by the listing). It is important to be aware that whilst the area was always reasonably prosperous these houses were occupied by people from a range of social and economic backgrounds, although unsurprisingly (given the proximity to the courts) the legal profession was generally well represented. The design, differences in size and, as far as can be estimated from surviving features, internal fittings reflect this variation.

5.4.8 Externally the frontages of Nos 4, 6 and 22 are the least altered from their original appearance, the remainder having stucco added in the late 18th or 19th centuries. This may reflect a lower socio-economic status of Nos 4 and 6, which are relatively small, at the time when the larger, more prosperous houses were being updated. No 22 is a much larger house and was built with a high-quality stone front, presumably making stucco unnecessary. All have late 18th- or 19th-century double-hung sash windows (except for a few which are 20th-century insertions or replacements).

5.4.9 The appearance can sometimes be deceptive. Nos 14 and 16 appear to be a homogenous single building, but this only dates from the 1960s or early '70s, when No 14 was altered to match No 16. Warwick is not characterised by symmetrical terraces of the type found in places such as Bath, Cheltenham and nearby Leamington Spa. The variations illustrate the individual ownership and development of the properties, and are an important element in the character of both the buildings and the wider streetscape. The late 20th-century alteration to No 14, whilst aesthetically pleasing and well-executed, is not necessarily desirable as it disguises the true nature of the property.

5.4.10 Nos 10 (formerly 12) and 14 had their rear wings demolished in the 1840s when the Militia acquired them and built a new store at the rear, with a linking range to No 14, removing part of its ground floor to create the carriage entrance to the rear of the premises. The link range was itself demolished, and all the other rear wings except that of No 2 truncated or demolished, in the 1920s and '30s when the existing small office (the former Militia store) was extended in stages to create the present block (No 12). The most significant survival is the rear wing of No 20, which was only truncated slightly and mostly survives as one of the links between the original buildings and the 1930s offices, and contains several rooms with original features such as panelling. No 2 was not affected by any of these developments.

5.4.11 Internally all contain some original or early features (described in section 4 above), but some have been more heavily modernised or altered than others. Such features should be preserved and refurbished where necessary. Nos 18-20 are probably the best preserved, retaining timber panelling and other detailing in all of the major rooms on the first floor, an impressive open well staircase in No 20, and numerous features on the ground and second floors. There is Victorian patterned dado and wall covering detail in No 18; this is generally in poor condition and of lower significance than the 17th- and 18th-century features in the building. No 2 also has a fine original staircase, but has been extensively modernised inside with relatively few other early features surviving. At the other end of the scale, Nos 8-10 (formerly 10-12) and 14 (later combined with No 16) were substantially altered in the 19th century when used by the Militia, and are generally plain inside with features such as 19th-century fireplaces. Nos 14 and 16 have a modern corridor at the rear and in some rooms there is little to indicate that they were originally built c.300 years ago.

*No 12 Northgate Street (20th-century offices at rear)*

5.4.12 As described above this is technically listed Grade II GV, but Warwick District Council have confirmed that in their view this is because they are within the curtilage of the historic properties fronting Northgate Street, rather than any intrinsic importance. The Listing citation describes them as "satisfactory", but whilst they are well-proportioned and relatively unaltered since the 1930s they are not of significant merit. The main interest is in the surviving remains of the mid 19th-century Militia Store at the core of the block. However, whilst this can be recognised in plan, by differences in the brickwork of the east elevation and by a few other constructional features, almost nothing of the original detailing survives and whilst of interest it cannot be considered of great importance. Those elements of the block designed in the 1930s are largely unaltered and characteristic of functional "institutional" buildings of the period, but although they are well-proportioned and constructed they do not display any outstanding or important architectural features or contemporary *art deco* design.

*Warwickshire Museum Store, The Butts*

5.4.13 The two 18th-century Grade II GV listed stone-built end 'pavilions' are architecturally important mainly for their group value to the streetscape. As far as can be ascertained they were constructed as utilitarian outbuildings to separate properties, although with a front elevation commensurate with the status of the houses with which they were associated. They have been heavily altered inside, and to the rear and side elevations, and there are no contemporary internal features of note. Their main importance is probably as group value to the streetscape. The 20th-century infill between the 'pavilions' is of no significance.

5.4.14 One aspect of considerable interest, which adds to the historic significance of the premises, is the former use of the basements below the southernmost 'pavilion' as the local Civil Defence Headquarters during the post-World War II 'Cold War' era. A number of features from this period survive, most notably the remains of the air purification plant and the escape tunnel.

#### *Court Offices, Northgate*

5.4.15 The court offices are unlisted, but are a nicely-proportioned example of late Victorian municipal architecture, in an Italianate style. Few original features remain inside, and the building is not likely to be considered of listable quality.

### **Conservation Area and streetscapes**

5.4.16 The whole of Area C area is within the Warwick Conservation Area. Individually all the buildings fronting the east side of Northgate Street are of importance and Listed, and collectively they form an impressive group of late 17th- and early 18th-century domestic buildings along with Northgate House (Area D) to the north. The appearance of Northgate Street is unusually homogenous because the houses were rebuilt in a short space of time after the Fire of 1694, and remains much as it would have been in the late 18th and early 19th centuries, despite the 20th-century refacing of the Shire Hall and gaol façade on the western side of the street and 20th-century redevelopment towards the south end of the west side. Although there have been some 19th- and 20th-century alterations, the unbroken frontage of the east side is an important element of the streetscape, the variations between the buildings illustrating the individual ownership and development. Warwick is not characterised by symmetrical terraces of the type found in places such as Bath, Cheltenham and nearby Leamington Spa. Although those areas rebuilt after the Fire of 1694 (such as this) follow broadly similar design principles as a result of the restrictions imposed in the rebuilding, the individuality of the buildings within this framework is an important element in the character of the wider streetscape.

5.4.17 No 12 Northgate Street, the mostly 20th-century council offices to the rear of Nos 2-10 and 14-22, are also included in the listing. Warwick District Council have confirmed that in their view this is because they are within the curtilage of the historic properties rather than any intrinsic importance. The Listing citation describes them as "satisfactory", but whilst they are well-proportioned and relatively unaltered since the 1930s they are not of significant merit. They are not visible from street level, apart from very limited views between other buildings and from the churchyard of St Mary's, and therefore make no contribution to the streetscape.

5.4.18 Fronting on to Northgate, but with their west elevation to the north end of Northgate Street, the Court Offices are not Listed but are a relatively unspoilt (externally) example of late Victorian public architecture. They are in a rather heavy style, but this is not out of keeping with the solidity of the Listed gaol façade on the opposite corner of Northgate Street and Barrack Street (Area A).

5.4.19 The Museum Field Services premises at the north end of The Butts offices include the two 18th-century stone end pavilions. These are listed Grade II GV and are in a complementary style to the late 18th- or very early 19th-century Grade II-listed houses further to the south in The Butts (outside the study area). The stone wall continuing the frontage of the northern pavilion northwards to the Court Offices is in a similar style, and gives cohesion to the junction of The Butts and Northgate. The unlisted front elevation of the 20th-century infill between the stone structures, which is brick and roughcast rendering with mock timber framing, is not in keeping with the surrounding buildings.

***Ecology***

5.4.20 The area has some potential to provide habitats for bats and nesting birds in the historic buildings, and for nesting birds in the trees, although there is little evidence of such use at the present time.

## 5.5 Area D, Northgate House (Fig 153)

### Buried archaeological remains

#### *Medieval suburban occupation*

5.5.1 The street frontage along Saltisford is known to have been occupied by houses from the medieval period to the 17th century. Four of the houses (to the west) burnt down in 1664, and the remainder in 1694. The area of highest potential is within the undeveloped areas of the garden, which includes the majority of the street frontage, where preservation of buried remains should be good although there may have been some localised damage from tree roots. In particular it is likely that level of the garden has been built up along the street frontage, which should result in good preservation of buried remains including foundations and possibly floors of buildings fronting Saltisford, as well as associated features to the rear including outbuildings, wells, cess and rubbish pits and tenement boundaries. The western side of the garden has remained free from development (although a narrow strip along part of the boundary has been quarried in the 18th and 19th centuries), which suggests the potential for survival of the full length of one or more complete tenements, where the ancillary evidence from the rear of the plots can be directly related to particular buildings on the street frontage.

5.5.2 It is very unusual in a town to find medieval tenements that have remained vacant since the 17th century without later redevelopment, and where preservation of remains is therefore likely to be extremely good. Well-preserved below-ground building remains are rare, and the undeveloped street frontage is potentially of the highest importance. Survival of ancillary evidence from the rear of tenements (outbuildings, industrial areas, rubbish pits etc.) is more common, and would normally be of lesser significance. However, the survival of complete tenements in an undeveloped state is exceptionally rare and, again, the potential importance is enhanced by the existence of good late medieval documentary evidence. The suburban location of the properties, immediately outside the town gate, adds a further element of significance and adds to the rarity value.

5.5.3 Although it would be necessary to carry out a field evaluation to confirm the position, it should be assumed that undeveloped street frontage and the western side of the garden of Northgate House is an exceptionally significant archaeological resource, potentially of national importance.

5.5.4 The present house and annex, and previous rear ranges, will have damaged any remains present, although there could be some survival below floor level between the foundations. The potential is greatest below the historic house (other than in the area of its basement), the floor level of which is significantly higher than street level. This part of the site is likely to contain remains of pre-fire buildings fronting on to Northgate. Some of the modern rear annex appears to be slightly terraced into the ground level and this, along with the 19th-century rear wing, is also on the site of the previous rear range. The combined effect of these will have been to cause damage to any earlier remains that may have been present, and possibly remove some shallower remains in areas of greatest truncation. There is nevertheless likely to be some survival, probably evidence of outbuildings and rubbish disposal. The undeveloped area of garden to the north of the modern annex may preserve evidence of activity at the rear of the medieval tenements to the east of the site, but their relationship to the buildings on the street frontage will have been damaged by the later buildings which reduces its value compared with the western part of the garden. The path to the rear gate on Cape Road, where it is cut into the ground to provide a suitable gradient, will also have caused some damage.



Fig 153: Northgate House (Area D), significance and constraints

## Listed Building

5.5.5 The architectural importance of the building is recognised by its Grade II\* listing, and it is a very early example of a domestic building constructed as a pair of semi-detached houses. Built in 1698 after the Fire of 1694, externally the frontage is largely unaltered from its original late 17th-century appearance. Internally, although modernised in many areas there remain a number of original or early features, notably a largely unspoilt fully panelled ground floor front room (to the left of the door, viewed from the front), and the staircase.

5.5.6 The small, probably early 19th-century, extension on the west side now forms an integral part of the building although its flat (or very low pitched) roof hidden behind a parapet looks incongruous next to the pitched roof of the original house. Neither late 19th-century rear wing (which has been heavily modernised and altered), nor the 20th-century rear annex are of any architectural significance. Both detract from the appearance of the rear elevation.

## Conservation Area and streetscape

5.5.7 Northgate House and its garden (along with the privately owned eastern half of the building) is within the Warwick Conservation Area. As well as being an important building in its own right (listed Grade II\*), it is also an important element of the townscape. It occupies a prominent position opposite the northern end of Northgate Street, for which it provides a focal point complementing the tower of St Mary's Church at the southern end. With Nos 2-10 and 14-22 on the east side of Northgate Street it forms a coherent group of late 17th-/early 18th-century domestic buildings. Its garden wall fronting Saltisford is of contemporary origin, although much repaired and renewed in the late 20th century. The garden contains several mature trees, which are visible from the street.

## Ecology

5.5.8 The garden area is not considered to have a high botanical value. The historic house has potential access for bats and nesting birds but the modern flat roofed buildings are not considered suitable. The trees and shrubs provide opportunities for nesting birds, and the bank and bramble patches along the western boundary of the garden may provide suitable habitat for reptiles such as slow worms.

## 6. Overview of main management and conservation issues

### *Constraints to development*

6.1 There are a number of conservation constraints on the Shire Hall complex:

- *Listed Buildings and Conservation Area:* This requires a balance to be drawn between changes that may be desirable for operational or practical reasons, and the need to respect and preserve the fabric of the buildings and the appearance of the Conservation Area. It imposes limits on development, adaptation and maintenance work, and requires the impact of such works to be considered and assessed in advance.
- *Responsibility for historic collections and furnishings in the buildings:* Fixtures and fittings that can be considered an integral part of the Listed Buildings are covered by the listing, and subject to the same restrictions as the main fabric of the buildings (including a prohibition on removal). In the case of other fittings and furnishings, and in the non-listed buildings, the Council has a moral responsibility to safeguard the integrity of items and collections that have been acquired with public money for the service and cultural benefit of the community.
- *Areas of archaeological potential:* This requires a balance to be drawn between the need for developments the need to preserve unique archaeological remains for the benefit of future generations. It requires the impact of such works to be considered and assessed in advance, may impose limits on development, adaptation and maintenance work, and where remains of national importance are present may prevent works which would cause unacceptable damage.
- *Ecology:* Certain habitats and species enjoy statutory protection which imposes constraints on any works, including routine maintenance, that may affect them. This may be absolute, or merely a matter of timing (such as avoiding nesting birds). The impact of such works to be considered and assessed in advance. The Council also has a moral responsibility to encourage good practice towards the environment and wildlife in addition to its statutory responsibilities.

### *Encouragement of public access*

6.2 The County Council is continually striving to enhance the level of service and facilities provided for the benefit of the community, for example by the forthcoming introduction of a 'One Stop Shop' providing a single point of contact for Council services. A key component of this is to encourage access by members of the public, and ensure that buildings offer an appropriate environment for the conduct of business and in which all sectors of the community from occasional visitors to staff and council members feel welcome and comfortable. The first impression given by reception areas is very important.

6.3 This desire to encourage access and interaction with the community has to be balanced with the need for appropriate levels of security, both at a low-level to reduce the risk of petty crime, and on a higher level to counter potential threats such as terrorist activity. This is considered in more detail below.

6.4 As a matter of prudent resource management it is necessary to maximise the effective use of all premises. This could involve increasing public use of Council buildings when not required for Council purposes. For example, Shire Hall provides suitable facilities for conferences, but this potential is not currently exploited and with proper marketing could be a lucrative source of revenue. (The re-use of Shire Hall will be a major issue following the recent decision of the Court Service to relocate to a new Justice Centre in Leamington Spa.) There may be opportunities for

hiring out facilities for other events such as public exhibitions and weddings. This would also help to consolidate the Council's position at the heart of the community.

6.5 Events such as Shire Hall Open Days enable the public to see significant and interesting parts of the complex and de-mystify the workings of the Council, although the last was as long ago as 1988 to celebrate the centenary of the County Council. They also enable the public to see some of the items in the collections, although many of these are normally kept out of sight in secure storage. Tours of the building are given to groups by appointment, but these have to take place within the timetable imposed by the Council's regular business. There is little demand for these tours, perhaps because they are not advertised. Again there is the need to balance security against availability.

### ***Improvement of County Council accommodation***

#### *Demand for space*

6.6 A number of current trends in the evolution of local government are affecting the demand for County Council office accommodation in Warwick:

- The move towards political decentralisation, and the establishment of Area Committees and offices. However, there is a general desire to keep the majority of staff in Warwick, rather than in an out-of-town centre, as this benefits the local economy and improves accessibility for the general public to those functions that cannot feasibly be de-centralised. Working within Warwick is generally preferred by staff.
- There is frequently pressure for reductions in the numbers of staff employed by the Council, although this is counter-balanced by new government initiatives that require additional staff and facilities.
- There is a need to use space more effectively, with offices arranged as open plan as far as possible and shared meeting rooms. For example, the recent move of the Education Department to the new Saltisford offices will allow much more cost-effective space planning than could be achieved in the old premises in Northgate Street, which consist of many small rooms of irregular size and layout.
- Modern information and communication technology (ICT) can also reduce the demand for office space, with the promotion of working from home using digital links and the concept of "hot desking" – the use of any available desk by staff not permanently based in an office. However, the introduction of an ICT infrastructure can be problematic in historic buildings.

#### *Condition*

6.7 Most of the buildings are purpose-built offices between 40 and c.75 years old. The former Education Department premises fronting the east side of Northgate Street date from c.1700 and were built as houses. The Barrack Street office, library and car park is over 30 years old, although significantly more modern in design and concept than the most recent elements of Shire Hall which are only a little older. The Staff Club, Northgate House, is also a former house dating from c.1700, and most of the issues relevant to the historic houses in Northgate Street also apply to its present use and to any public or professional use for which it may be proposed. The former houses are generally unsuitable for modern office use. The older purpose-built offices present some problems in modern use and are in need of refurbishment, and even the more recent facilities do not reach modern standards in some areas, for example thermal efficiency.

6.8 The condition of most of the premises is satisfactory or good, although there are some minor areas of concern and complaints of dilapidation and poor facilities. A few of the offices in the historic buildings on Northgate Street are in poor decorative order. In some cases redecoration has been postponed pending a decision on major refurbishment or, as in the case of the former Education Department buildings in Northgate Street, because the buildings do not have a long-term future in Council ownership.

6.9 There are only two major structural issues known to this survey. The main staircase in No 2 Northgate Street, which is of late 17th-century open well construction, shows excessive movement away from the wall and is condemned out of use. The rear wall of No 6 Northgate Street is supported by scaffold shoring, and Acrow props support the ceiling of the ground floor rear room.

#### *Health and safety, and working conditions*

6.10 The older purpose-built offices do not have modern facilities such as double glazing and air conditioning, and attract complaints about heat although they are generally acceptable other than in very hot weather. There is a particular problem with heat gain in the 1966 Shire Hall offices fronting Market Place; tinting and/or double glazing of the windows and a canopy to combat heat in hot weather is under consideration.

6.11 Modern fire safety standards can require changes to provide, for example, an adequate number of fire escape routes, and to eliminate hazards such as open-well staircases. This can be difficult in older premises, although it can usually be achieved with careful planning and design, but is probably impossible in the historic houses without modifications which would cause unacceptable damage to their historic fabric.

#### *Accessibility and security*

6.12 The main factor affecting accessibility is the Disability Discrimination Act 1998 (DDA) and subsequent supplementary legislation. The full provisions of the Act came into force in 2004, and require the Council to take reasonable steps to tackle physical features that act as a barrier to disabled people who want to access its services. It covers employees as well as visitors. There is no definition of reasonable, although there is guidance from various sources such as the Disability Rights Commission. It can mean alternative ways of providing a service, where appropriate, rather than necessarily the same method for everyone. Obvious areas are the provision of ramps as well as or in place of steps, and the provision of lifts to upper floors (and replacement of existing lifts where not DDA compatible).

6.13 Adaptation to DDA standards is relatively easy in many buildings, but can pose problems when dealing with older buildings where the layout may not lend itself to changes, or Listed buildings where this may conflict with the requirement to preserve appearance and historic fabric. For example, the former Education Department main entrance at No 22 Northgate Street is entered *via* six external steps from the street; the addition of a ramp would probably be considered visually unacceptable on a Listed Building in a Conservation Area, and alterations to eliminate the steps would be damaging to the fabric of the building as well as its appearance.

6.14 The impact of accessibility adaptations should also be considered in unlisted buildings. In most cases this will not raise any aesthetic or historic issues, but the Council should ensure that it provides a model of good practice.

6.15 Security has been mentioned above in relation to the encouragement of public access. At the lowest level there can be problems with unauthorised persons gaining access and carrying out casual petty thefts, such as stealing personal belongings left unattended, through to the theft of items such as computing equipment. There is also the potential for assault, particularly of female staff working late in sparsely populated offices. As far as is known there have been no such incidents to date, but the Council as a responsible employer has a duty to take reasonable measures to minimise the risk. At the highest level there is the possibility terrorist action.

6.16 Appropriate levels of security can often be achieved without compromising accessibility by relatively simple and non-intrusive measures, such as restricting the number of access points to particular buildings or areas and concentrating security precautions at strategic locations. This issue particularly affects Shire Hall (Area A) and the former Education Department premises fronting Northgate Street (Area C). These have many entrances, which are difficult to monitor and control adequately. Although doors can be kept locked this raises issues of fire safety, and can be inconvenient in buildings with a layout designed for multiple entrances.

6.17 Security measures can also include the installation of equipment such as screens at reception counters, CCTV cameras etc. These can often be installed without serious damage to the fabric of a building, although the appearance may be affected, and the measures should be reversible as far as possible. The impact needs to be assessed in advance.

#### *Management and administration*

6.18 The current record storage in the Deeds Store is virtually full, and there are problems with rising damp; the current solution is not to store documents on the bottom shelf of the racking, but this is clearly unsatisfactory. The material includes large numbers of unique title deeds necessary to establish ownership to County Council property. Many of these documents are also of considerable historical significance, although while much of the County Council's landholding remains unregistered they remain necessary to its continuing management and cannot be deposited with the County Record Office.

#### *Aspirations for improvement and enhancement*

6.20 A number of specific enhancements to the Shire Hall facilities are currently under consideration:

- Improvements to Council Chambers, Committee Rooms and Members' accommodation, including the installation of audio-visual equipment in the Council Chamber, improved access and general refurbishment.
- Improvements to the frontage of Shire Hall facing Market Place.
- Provision of gymnasium and additional showers, the latter partly to encourage staff to cycle to work as part of the Council's sustainable transport initiative. (Showers are currently available, but very few.)
- Plaques, signage and leaflets to explain and interpret significant or unusual elements of the site to visitors, for example the entrance to the former gaol in the stone wall on the Barrack Street frontage of Shire Hall, blocked with brick in the 1930s.
- Moving the library into Shire Hall has been considered, but has previously been dismissed as too expensive. However this is again under consideration.

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## Courts and original Shire Hall

6.21 Despite a history of judicial use of the Shire Hall going back to the 16th century, a decision has been taken by HM Courts Service to relocate the Warwick Crown and County Courts. A project is being undertaken to develop a Criminal Justice Centre in Leamington which will provide a new multi-agency complex comprising Police Station, Probation Service, Youth Offending Team and the new location for the Courts Service. The Centre is anticipated to be operational by the latter half of 2009, at which point the Old Shire Hall and Courts Complex will be returned to the Council. The present uses of the Judges House will continue, and it is anticipated that judges will continue to make use of the Lodgings travelling between Leamington and Warwick as necessary.

6.22 The relocation of the courts is both in line with national policies and a reflection of the limitations of the 18th-century courtrooms and facilities for modern judicial proceedings. Current national policy is towards the centralisation of courts, with fewer, larger courts, resulting in many smaller historic courts becoming redundant. There is a trend for the criminal (Crown) and civil (County) courts to share accommodation in combined justice centres along with magistrates courts. There will be a core number of crown and county courts in major towns, with the county courts supplemented by secondary hearing centres operating on either a full- or part-time basis.

6.23 Although the existing courts are popular with staff and advocates, modern courts have markedly different requirements to those operating in the 18th century. Modern courtrooms cover about four times the floor area of Courts 1 and 2 at Warwick. In the 18th century it was acceptable to throw the parties to a case – defendants, witnesses and jurors – together in close proximity in a way that is unacceptable today. The size of the Warwick courts also limits the size of the trials that can take place – the docks can accommodate no more than four defendants. The need to separate defendants, witnesses, jurors and the public extends to providing separate facilities for each, to minimise the threat of intimidation of witnesses and jurors, and to reduce the possibility of inappropriate discussions taking place. This can currently only be achieved in a makeshift way. The current prisoner handling facilities are also inadequate – with prisoners unloaded into the middle of Northgate Street (Because of the one way system) and then escorted

6.24 The traditional court, with its hierarchical stepped seating, was designed to intimidate, and runs counter to the modern aim which is to make the justice system less threatening to witnesses, jurors and vulnerable users, particularly child witnesses and defendants. There is also an increasing need for modern information and communications technology in court. The presentation of digital evidence requires computer screens in court – fifty or more in a single court. Vulnerable people, such as child witnesses, need to be able to present evidence *via* closed circuit TV links rather than appear in person. The satisfactory installation of such information technology into Grade I Listed interiors would obviously be very difficult.

6.25 Similarly modern Health and Safety standards, including fire protection, would be difficult to achieve in a historic court. For example the installation of additional fire exits and escapes might be very damaging even if it were physically possible to provide them. Also the provisions of the Disability Discrimination Act 1998 (DDA) apply to courts as well as other public buildings. Appropriate access facilities would need to be provided and the existing tiered court seating could not easily be made accessible without major changes which might destroy the integrity of a historic court. These considerations would also apply to any alternative use of the buildings.

6.26 The Judges House is in continual use by the Council and the Warwickshire Justices for civic and ceremonial functions, using the dining room on the first floor which is served by its own kitchen. At present accommodation is also provided for visiting judges in the Judges Lodgings. This is not particularly cost-effective when they are only used periodically and infrequently. Some of the rooms and facilities within the Judges House could be used more extensively as offices, staff club facilities or meeting spaces.

### **Alternative uses for the present courts**

6.27 Following the departure of the courts appropriate alternative uses will need to be found for the present courts and the Shire Hall. Such a use must be financially viable and sustainable, and at the same respect the significance and integrity of the (Grade I Listed) buildings. Some of the ancillary facilities could be adapted relatively easily, but the courtrooms themselves do not readily suit many other functions. The historic Shire Hall is a relatively large open space that cannot be sub-divided without destroying its essential character. It was designed as a civic meeting space, but use for conferences, concerts, functions or exhibitions would be possible.

6.28 This need to find new uses for former county and judicial buildings has been faced by other counties. In Stafford the Grade II Listed Shire Hall was converted into a visual arts centre for the county in 1992. The Hall is used as an exhibition space and the single historic courtroom has been retained in its original state and is open to the public and to schools as an educational resource. There is a craft shop, café and children's activity room. The creation of a white-walled exhibition space within the Hall does rather mar its historic appearance.

6.29 In Nottingham the Grade II Shire Hall and its courtrooms, prison and police station has become the National Centre for Citizenship and the Law Galleries of Justice, an educational charity, offering a conference and corporate hospitality centre, a visitor attraction offering a 'Crime and Punishment Tour' incorporating the HM Prison Service Museum (which was formerly administered by Warwickshire Museum at Newbold Revel) and a Crime Reduction Centre whose key objective is to keep young people away from crime and out of prison through 'experiential learning in history and citizenship'. In 2003 The NCCL Galleries of Justice were awarded the Gulbenkian Award for the most innovative museum project.

6.30 While the end of the traditional use of the buildings in Warwick for the administration of justice is to be regretted, these areas of Warwickshire's Shire Hall are the oldest and most historic parts of the complex and the removal of the courts offers an exciting opportunity to return them to a range of appropriate civic uses, either as meetings, conference or exhibition space or to house functions and ceremonial events.

## ***Ecology***

### ***Bats***

6.31 Many of the buildings in the study area offer spaces for potential bat roosts. All British bat species are deemed to be European Protected Species. It is therefore important that a bat survey be carried out by a suitable qualified bat worker prior to determination of any planning application, or prior to the start of any work that does not require planning permission if the roof of the structure is to be affected. The survey should determine the location of any bat roost(s). The report should also recommend measures to ensure any bats present are protected through the use of mitigation measures such as timing of works. In addition, bat roosts themselves should be preserved wherever possible. Where this is not possible, suitable

mitigation measures (to be agreed with the licensed bat worker) are to be implemented.

#### *Nesting Birds*

6.32 Work should avoid disturbance to nesting birds. Birds can nest in many places including buildings, trees, shrubs dense ivy, and bramble/rose scrub. The main nesting season lasts approximately from March to September, so work should take place outside these dates if at all possible. *N.B birds can nest at any time, and the site should ideally be checked for their presence immediately before work starts.*

#### *Reptiles*

6.33 Care should be taken if clearing any ground in the gardens of the Staff Club as they provide potential habitat for reptiles such as slow worms. If evidence of specially protected species such as slow worms are found, work should stop while Warwickshire Museum Ecology Unit or English Nature is contacted.

#### *Possible ecological enhancements*

6.34 There appears to be limited scope for ecological enhancement of any of the buildings. However, there appears to be opportunities for the addition of bird and bat boxes on some of the buildings or on some of the trees, and perhaps some bat access tiles in some of the roofs. It is worth noting that such features need to be given careful consideration on how they are positioned; the Ecology Unit can provide advice on this matter. The long-term maintenance, cleaning out etc. of any boxes would also need to be considered.

6.35 There is reasonable scope to increase the biodiversity value of the pond in the inner quadrangle of the 1932 offices, as well as that in front of Shire Hall adjacent to the Market Place entrance. This may include some appropriate landscaping as well as the potential to re-design the ornamental aspect of the ponds, particularly that at Shire Hall.

6.36 There are flower beds in the gardens as well as in troughs outside offices. These could be supplemented with appropriate planting schemes of high wildlife value (preferably native), which could be used to attract a variety of insects.

## 7. Statement of conservation principles

### *Legislation*

7.1 Listed Buildings and Conservation Areas are protected by the Planning (Listed Buildings and Conservation Areas) Act 1990 and all developments affecting them require the consent of the appropriate Planning Authority. Scheduled Ancient Monuments are covered by the Ancient Monuments and Archaeological Areas Act 1979, and any works or operations that affect their fabric (including ground disturbance) require consent from the Secretary of State for Culture, Media and Sport.

7.2 Ecological matters are covered by the Wildlife and Countryside Act 1981 (amended 1989) and the Countryside and Rights of Way Act 2000 under which it is, for example, illegal to disturb nesting birds, the Natural Environment and Rural Communities Act 2006 which imposes a duty on public authorities to have regard to the conservation of biodiversity, and the Conservation (Natural Habitats etc.) Regulations 1994 which impose a duty to consider the Habitats Directive in relation to work that may affect European Protected Species.

### *National policies*

7.3 The general policy framework for the conservation of historic buildings, archaeological sites and the natural environment is set out in national and local government documents. Central government policy is contained in Planning Policy Statement 9 (PPS9) for Nature Conservation (ODPM 2005), Planning Policy Guidance Note No 15 (PPG15) for Historic Buildings (DoE 1994) and PPG16 for Archaeology (DoE 1990). These identify each of these elements as material considerations in the planning process worthy of protection. PPG 16 states that preservation of archaeological sites in situ is always the preferable option. It requires developers to carry out archaeological evaluations to inform planning decisions, and, where archaeologically destructive developments are permitted, to carry out excavations of the sites in advance.

### *Local policies*

7.4 The *Warwickshire Structure Plan* (WCC 2001) provides the planning framework for the County of Warwickshire. It contains policies:

- providing for a pattern of development which ‘nurtures Warwickshire’s legacy of ... environmental wealth and heritage...’ (Policy GD1).
- stating that Development will only be permitted if it does not involve loss of or damage to a Scheduled Ancient Monument, Listed Building, Registered Park..., or loss of or damage to features of... ecological, geological, archaeological, archaeological, historical... or other conservation interest of acknowledged regional or local importance (Policy ER1).
- requiring detailed environmental impact assessments and states that development will not be permitted where adverse impact cannot be mitigated to acceptable levels (Policy ER2).

7.5 The *Warwick District Local Plan Revised Deposit Version* (WDC 2005) contains Development Policies designed to:

- protect important natural features, and positively contribute to the character and quality of the natural and historic environment (Policy DP3).
- prohibit development which harms Scheduled Ancient Monuments or other archaeological remains of national importance; preserve remains of local and regional importance where appropriate; ensure that archaeological remains

are evaluated in advance of planning decisions; and require a programme of archaeological work where permission is granted for a development affecting archaeological remains (DP4).

7.6 It contains the following relevant Designated Area Policies to safeguard the natural environment and the historic and built environment:

#### *Natural Environment*

- to prohibit development which would destroy or adversely affect nationally important Sites of Special Scientific Interest (SSSIs) or designated Ancient Woodlands, and resist developments that would affect protected or other important wildlife species and locally important sites (DAP4).

#### *Historic and built environment*

- to protect listed buildings and their settings (DAP6-9).
- to preserve and enhance Conservation Areas (DAP8, 10-11).
- to protect nationally and locally important parks and gardens, and their settings (DAP13).

7.6 The above policies apply to all developers, county and district wide, and clearly WCC have themselves to comply with them where developments on council-owned property are concerned. Indeed it might be said that the Council has a duty to set a better than good example, and be shining exemplars of the best practice when it comes to sites of the historic importance and the public prominence of the Shire Hall.

#### *National and Local Biodiversity Action Plans and guidance*

7.7 National Biodiversity Action Plans prepared by the UK Biodiversity Group (chaired by the Deputy Prime Minister) highlight species and habitats which are threatened at national level, and outline how they can be protected and enhanced. Local Biodiversity Action Plans perform a similar function at a local level. Biodiversity Action Plans are a material consideration under PPS 9. Relevant action plans include:

- Species Action Plans: Bats (UKBAP, LBAP), Song Thrush (LBAP)
- Habitat Action Plans: Ponds (UKBAP, LBAP), Gardens (UKBAP, LBAP), Built Environment (UKBAP, LBAP)

7.8 Strategy and guidance for the protection and enhancement of the natural environment is published by the Department for Environment, Food and Rural Affairs (DEFRA 2002). The strategy aims to engage society as a whole in understanding and safeguarding the needs of biodiversity, and provide a framework of principles and guidance. For urban areas it sets out a series of actions to make biodiversity a fundamental consideration in the development of policy on sustainable communities, urban green space and the built environment.

7.9 The basic elements of the Strategy are summarised as: the provision of better information about biodiversity; the development of objectives and indicators; achieving partnership and involvement across the statutory, voluntary, private, academic and business sectors; and the utilisation of the best and most appropriate skills and expertise (DEFRA 2002, 8).

#### *National historic environment conservation and management guidance*

7.10 English Heritage publish a number of documents outlining good practice. These include *Informed Conservation* (English Heritage 2001), *Managing local authority*

*heritage assets* (English Heritage 2003), and *Conservation principles, policies and guidance* (English Heritage 2007).

7.11 The underlying principle is described by the acronym CoBRA (Conservation-Based Research and Analysis). The term was originally coined in relation to buildings (English Heritage 2001), but the approach is also applicable to other fields of conservation (and, indeed, can also be appropriate to the natural environment). It expands on the basic framework provided by PPG15 and PPG16 but is also relevant to areas that in some cases are outside the scope of the planning system, such as routine and periodic maintenance. It states that successful management of the historic environment requires appropriate preliminary research, analysis, survey and investigation in order to understand the significance of a building and its landscape, and thus inform decisions about repair, alteration, use and management. This is commonly presented in a Conservation Statement or, in more detail, a Conservation Plan. It is, however, often still necessary to commission additional targeted research or analysis of individual assets in order to inform a particular proposal for change (English Heritage 2003, 21).

7.12 For example:

- Where development is proposed in areas of significant archaeological potential (as identified by initial appraisal or assessment), no application for planning consent should be decided without appropriate prior evaluation, which will usually require archaeological trial trenches. This will establish whether archaeological remains are present, and confirm their nature, date and condition from which a judgement as to their importance and the potential impact of the development can be made. This will then be a factor to be considered in determining whether to grant consent and, if so, what measures are necessary to mitigate the impact of the development.
- Where redecoration of a historic building is proposed, initial assessment will establish the importance of the building and the significance of the elements to which the work is proposed. If appropriate, further investigation would establish a historically authentic decorative scheme and could require documentary research or possibly the taking of paint samples from the building itself. It must always be remembered that changes in decorative fashion are themselves part of the continuing historical development of the building; they could, for example, be linked to structural alterations which are themselves important, and restoration to an 'original' scheme may not necessarily be appropriate. The key is to have sufficient information to make an informed judgement.

7.12 An important tool for the appropriate management of local authority heritage assets is a comprehensive database of the extent, nature and condition of the assets. For each property or item this should be accompanied by an archive of reports, drawings and other records of work carried out, which should be kept in a secure form continually accessible to those with responsibility for the asset. Procedures should be in place to ensure that this is kept up-to-date, and is referred to whenever decisions regarding the asset are necessary. This is particularly important today because of the tendency for management arrangements to change more frequently than previously, making continuity of professional involvement increasingly rare (English Heritage 2003, 18, 25). Good communication between all parties is essential.

7.13 There may be occasions where the disposal by a local authority of heritage property assets is appropriate. For those whose importance is largely derived from their public status, there should be a presumption that their public ownership and use should continue and every effort made to ensure this, but where this is not possible, any disposal should take into account the community interest. Assets

whose public ownership has occurred by chance require less stringent consideration. Comparison of costs of adaptation and alternative provision of facilities should be based on the whole life costs, including the costs of securing the future of the heritage asset (English Heritage 2003, 9, 29).

7.14 Where a heritage asset is proposed for disposal, the best return commensurate with securing its appropriate protection should be the aim, not necessarily the highest possible price. It may be that a method other than open market sale by auction or tender may be necessary to secure appropriate ownership and a sustainable future (English Heritage 2003, 33).

7.15 Works to significant buildings must be carried out by architects and contractors with appropriate knowledge and experience of historic buildings, to ensure that they are not detrimental to the building. Procurement of services should follow the principles of best value, not merely lowest cost, and criteria for assessing appropriate expertise should be clearly set out (English Heritage 2003, 26).

## 8. Conclusions, policies and guidance

8.0.1 From the foregoing discussion a series of interim conservation policies and procedures for the conservation of the historically significant elements of the Shire Hall site can be suggested.

### 8.1 Policies

8.1.1 As an over-arching general policy:

**The Council will provide an example of best practice in the management of its own heritage assets, demonstrably achieving the standards expected of others.**

8.1.2 Specific policies are divided into three groups: general policies for the *utilisation and management* of the site; policies designed to *preserve* the significant elements of the site; and policies designed to assist in the *management of change*, ensuring that future developments and maintenance are managed and carried out in an appropriate way. Guidance for the application of the second and third groups of policies is given below.

#### *Policies for the utilisation, management and public awareness of the site*

8.1.3 Policies UM1-UM5 aim to guide best practice in the operation and resource management of the site, and for improvements in public awareness and access.

#### **Policy UM1:**

**The design and implementation of future proposals, including new developments, major and minor alterations, repair work and re-decoration schemes will take into account the history and visual amenity of the site, and be informed from the beginning by appropriate archaeological, historical and ecological research in accordance with the principles of Conservation-based Research and Analysis (CoBRA). The impact of developments will be fully assessed and mitigated by design as much as possible.**

#### **Policy UM2:**

**(a) Suitable uses for redundant buildings will be sought and promoted, and inappropriate uses relocated where possible.**

**(b) Where historic public use or ownership is a significant element of the heritage importance of the building, such as the Shire Hall and Courts, there will be a presumption that these should be maintained, and every effort will be made to ensure that this is achieved. Where this is not the case, such as the former Education Department buildings in Northgate Street, which were originally private houses and were acquired by the council in response to a specific problem, disposal out of the public domain may be most appropriate.**

**(c) The optimum viable use for a redundant building, compatible with best protection for its historic integrity that can reasonably be achieved, will be preferred to a more profitable use that would result in greater damage to the historic fabric, character or setting than other viable uses.**

**(d) Where a building is proposed for disposal, this will only take place after an assessment of all the options, taking into account the whole life cost of providing any replacement facilities including any costs of securing the future of the heritage asset. The method of disposal will be that which secures the most appropriate**

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ownership, sustainable use and conservation. This will not necessarily be by open tender or auction, or realise the highest possible price. A Development Brief outlining the constraints and requirements will be prepared, and will form part of the documentation for the disposal.

**Policy UM3:**

Consideration will be given to the preparation of a database of heritage assets including historic contents and, in accordance with good heritage asset management practice, the implementation of procedures to ensure that a complete archive of relevant reports, drawings, records of work etc. is prepared and maintained for each asset. These would be kept in a readily accessible secure form, and referred to whenever decisions affecting the use or fabric of the asset are made in order to ensure as far as possible that an appropriate and consistent management regime is adopted.

**Policy UM4:**

Public access to the main Shire Hall complex will be promoted, but within the limits set by the needs of security. At the same time facilities for the public and staff will be improved by an internal alterations of the building and the provision of adequate inclusive access to all parts of the complex, subject to appropriate measures to safeguard the historic fabric of the buildings.

**Policy UM5:**

Improvements will be made in the interpretation of main Shire Hall complex to visitors, as resources permit, by means such as signage, information panels, information leaflets etc. as appropriate. Consideration will be given to ways in which public access to the historic collections can be improved.

8.1.4 Preservation policies (P1-P5) aim to protect those elements of the site which contribute towards its significance.

**Policy P1:**

(a) Every effort will be made to avoid disturbance of extant archaeological remains.

(b) The impact of development proposals on archaeological remains in areas identified as being of the highest or high archaeological potential will be appropriately assessed before planning applications are submitted. This will usually require evaluation by trial trenching. No developments will be proposed in such areas where these will have a significant adverse effect on the most important archaeological remains. Where development is proposed, the impact will be mitigated by measures to preserve remains *in situ* and/or a programme of archaeological work to be carried out, if necessary, before the development takes place.

(c) Development proposals in areas of little or no potential archaeological will not require archaeological evaluation before the determination of a planning application but, if appropriate, a programme of archaeological work will be carried out to ensure that any archaeological remains that may be present are appropriately recorded before or during the development.

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**Policy P2:**

(a) Every effort will be made to preserve those elements of significant buildings and their settings (whether listed or not) that contribute to their special architectural or historic importance.

(b) The impact of any proposals for development, alteration or maintenance will be assessed in advance. No scheme or programme having a significant adverse effect on the building will be proposed. Where feasible, proposals will aim to enhance the building by, for example, carrying out desk-based and practical investigation to establish historically appropriate decorative schemes.

(c) Any repairs to the historic fabric of the Grade I and II\* Listed Buildings will be carried out using original materials on a like for like basis, and will retain the original fabric as far as possible, unless the use of such materials is clearly and demonstrably inappropriate. Structural repairs to Grade II Listed Buildings and significant unlisted buildings will be carried out using original or compatible materials, and will respect the integrity of the original structure. Re-decoration of the significant buildings will be carried out to historically authentic schemes, unless this would be incompatible with the use of the building.

**Policy P3:**

The Conservation Area and its setting within the surrounding area, and the settings of individual buildings within it, will be protected from inappropriate or intrusive development. Developments or changes of use which would cause inappropriate impact on a listed building will not be permitted. Every effort will be made to preserve or enhance the character of the most significant streetscapes: Market Place, Northgate Street and Old Square.

**Policy P4:**

(a) There will be a presumption that items in the historic collections which contribute to the character of their setting, or have direct relevance to it, will be retained *in situ* as far as possible, and items with identifiable connections to the County will be retained in appropriate locations in the public domain.

(b) Consideration will be given to the preparation of an audit of the collections, extending the Inventory prepared in 2006 to the portrait photograph collection, original prints and maps displayed in public areas and senior officers' rooms and other significant artworks, taking specialist advice as necessary, to assess the significance and relevance of all items in the collections as the basis for the preparation of a management plan.

(c) The insurance of the collections should be reviewed and an appropriate annual budget for conservation and management of the collections should be provided.

**Policy P5:**

The wildlife and plant habitats existing in the garden of Northgate House will be protected from injurious developments, and measures will be taken for their enhancement where appropriate.

*Policies for management of change and maintenance*

8.1.5 Policies for the management of change (MC1-MC4) are to ensure that future development and maintenance programmes on the site are managed and executed in the most appropriate way.

**Policy MC1:**

In accordance with Policy UM1, future repair and maintenance programmes will be informed by archaeological, historical and ecological research in accordance with CoBRA principles. The County Archaeologist and County Ecologist will be consulted as necessary.

**Policy MC2:**

Every care will be taken to minimise damage to the site or interference with ecological habitats caused by the creation of temporary structures or access routes during building work, whether for the purposes of maintenance and repair or new development. The extent of such works will be specified in advance and taken into account when the impact of the works is assessed.

**Policy MC3:**

All work affecting the fabric of historic buildings should be carried out by architects and contractors with appropriate experience.

**Policy MC4:**

Where archaeological investigation and recording is to take place as a response to a development or maintenance programme this will be carried out by suitably experienced archaeologists in accordance with a written scheme of investigation agreed with the relevant authorities in advance.

**Policy MC5:**

Where repair and maintenance works may affect bats, nesting birds or other protected species appropriate ecological surveys to meet statutory obligations will be carried out. The results will be made public through the Warwickshire Museum Biological Records Centre.

## **8.2 Guidance**

8.2.1 Policy UM1 is the overall framework for the detailed policies. Guidance for the application of Policies P1-5 and MC1-5 in response to a range of possible proposal types is tabulated below. The significant aspect(s), in broad terms, of those parts of the site affected by the proposal can be ascertained from section 5 of this statement. For each category of significance (column 1) a variety of possible types of proposal are considered (column 2), and for each of these the basic procedure to be followed, and possible outcomes, are outlined in columns 3 and 4.

8.2.2 The database of heritage assets suggested under Policy UM3 would provide a readily available checklist of requirements and procedures for each property, for easy reference when proposals are under consideration. It could also be used to feed into programmed inspection and reporting regimes, and would be particularly useful in providing background for engineers, building surveyors etc. who are not necessarily specialists in the historic and natural environment (English Heritage 2003, 25).

## 8.2.3 Buried archaeological remains

Category of Significance	Nature of Proposal	Action to be taken	Potential outcome
<p><b>Areas of highest archaeological importance.</b></p> <p>Area A: SE corner. (Medieval occupation on former Pebble Lane and No 18 Old Square; possible Anglo-Saxon remains including defences.)</p> <p>Area C: No 2 Northgate Street. (Whole Medieval plot relatively undisturbed by later building; possible Anglo-Saxon remains including defences.) No 22 Northgate Street. (Medieval tenements unbuilt on since 1694; possible remains of defences.)</p> <p>Area D: Garden of Northgate House. (Whole suburban tenements and frontages unbuilt on since 1664 or 1694.)</p>	<p>New development involving ground disturbance.</p>	<p>Apply Policies UM1, P1, MC4:</p> <ul style="list-style-type: none"> <li>• New developments involving ground disturbance will be discussed with Warwickshire Museum Planning Archaeologist at an early stage, and formally assessed before planning application are submitted.</li> <li>• Archaeological evaluation (usually trial trenching) will be carried out where appropriate.</li> <li>• If development would have unacceptable impact, proposal will be withdrawn or re-designed to reduce impact to acceptable level.</li> <li>• Where impact acceptable, planning application will be submitted, and will include mitigation strategy to secure appropriate preservation <i>in situ</i>, and/or programme of archaeological work to ensure archaeological investigation and recording as necessary.</li> </ul>	<p>Archaeological evaluation is likely to reveal that remains of such importance as to merit a presumption that they should be preserved <i>in situ</i> are present.</p> <p>The absence of disturbance from extensive later development means that the chance of finding such remains is high, and intrusive development is not therefore likely to be permitted.</p>
	<p>Maintenance or repair works involving ground disturbance. (This does not include routine gardening, but does include tree planting and any re-landscaping, path construction etc.)</p>	<p>Apply Policies UM1, P1, MC1, MC4:</p> <ul style="list-style-type: none"> <li>• Discuss with Warwickshire Museum Planning Archaeologist.</li> <li>• Where appropriate, agree programme of archaeological work. (Where necessary this will usually be archaeological observation and recording during the course of the works.)</li> <li>• Ensure archaeological arrangements are in place before the work starts.</li> </ul>	<p>Works having significant impact will require a programme of archaeological recording to be carried out in conjunction with them.</p>

<p><b>Areas of high archaeological importance.</b></p> <p>Area A: Rear of Shire Hall and Courts, Office courtyards, west of Abbotsford House. (Medieval remains behind frontages, pockets of Anglo-Saxon remains.)</p> <p>Area B: Saltisford frontage and landscaped area at north-west. (Medieval and early post-medieval occupation.)</p>	<p>New development involving ground disturbance.</p>	<p>Apply Policies UM1, P1, MC4:</p> <ul style="list-style-type: none"> <li>• Actions as for areas of highest importance above.</li> </ul>	<p>Archaeological evaluation may reveal that remains of such importance as to merit a presumption that they should be preserved <i>in situ</i> are present.</p> <p>However, although such remains could be present, disturbance from later developments suggests that the chance of finding such remains is lower than in the areas of highest importance. It is therefore a possibility that intrusive development may not be permitted.</p>
<p>Area C: Whole area except for No 2 Northgate Street and north-west corner, and cellared/lowered areas. (Medieval and possibly Anglo-Saxon remains.)</p> <p>Area D: East side of area, including below buildings except for cellar and air raid shelter. (Truncated medieval / early post-medieval frontages below original house; to rear, remains of ancillary buildings and activities.)</p>	<p>Maintenance or repair works involving ground disturbance. (This does not include routine gardening, but does include tree planting and any re-landscaping, path construction etc.)</p>	<p>Apply Policy UM1, P1, MC1, MC4:</p> <ul style="list-style-type: none"> <li>• Actions as for areas of highest potential above.</li> </ul>	<p>Works having significant impact will require a programme of archaeological recording to be carried out in conjunction with them (as for areas of highest importance above).</p>

<p><b>Areas of little or no archaeological importance.</b></p> <p>Areas A-D: Cellared areas and areas where ground level has been lowered.</p>	<p>New development involving ground disturbance.</p>	<p>Apply Policies UM1, P1, MC4:</p> <ul style="list-style-type: none"> <li>• Submit planning application. (As a matter of good practice, discuss major proposals with Warwickshire Museum Planning Archaeologist at early stage in advance of planning application.)</li> <li>• Formal appraisal or evaluation will not <i>normally</i> be required in advance of determination of a planning application.</li> <li>• Where appropriate, a condition requiring a programme of archaeological work will be attached to any consent that may be granted.</li> <li>• Ensure arrangements for the archaeological programme are in place before work starts.</li> </ul>	<p>Most developments will not require archaeological intervention.</p> <p>Some, where the impact on archaeological remains is uncertain, may require either archaeological observation and recording, or evaluation (and possibly further investigation).</p>
	<p>Maintenance or repair works involving ground disturbance. (This does not include routine gardening, but does include tree planting and any re-landscaping, path construction etc.)</p>	<p>Apply Policy UM1, MC1,MC4</p> <ul style="list-style-type: none"> <li>• Discuss major works with Warwickshire Museum Planning Archaeologist.</li> <li>• Where appropriate, agree programme of archaeological work.</li> <li>• Ensure arrangements for the archaeological programme are in place before work starts.</li> </ul>	<p>Normal maintenance works will not require archaeological intervention.</p> <p>Archaeological observation and recording would only be necessary in the case of major works in areas where the impact on archaeological remains is uncertain.</p>

## 8.2.4 Listed and other buildings

Category of Significance	Nature of Proposal	Action to be taken	Potential outcome
<b>Significant buildings (Listed)</b>  Area A: Shire Hall and Courts; those elements of the County Council offices formerly part of the County Gaol (Grade I). Abbotsford House (Grade II*). Judges House; No 1 Northgate Street (Grade II).  Area C: Nos 18-20 Northgate Street (Grade II*). Nos 2-10, 14-16, 22 Northgate Street; Warwickshire Museum Store end pavilions (Grade II).  Area D: Northgate House (Grade II*).	New development or alterations	Apply Policies UM1, P2, MC3, MC4, MC5.  <ul style="list-style-type: none"> <li>● As a general principle, the aim must be to retain those characteristics which contribute to the architectural or historical interest of the building.</li> <li>● All proposals that affect the character of the building, including total or partial demolition and virtually all alterations, require Listed Building Consent (LBC). Planning consent may also required.</li> <li>● Discuss with planning authority.</li> <li>● Carry out appropriate assessment to determine the significance of those buildings or building elements affected, and establish the impact of the proposals.</li> <li>● Incorporate any measures necessary to mitigate the impact.</li> <li>● Submit LBC application.</li> <li>● Ensure arrangements for any building recording programme are in place before work starts.</li> </ul>	In determining the application, the planning authority will have special regard to the desirability of preserving the building, its setting and any of its features of special architectural or historic interest.  Demolition and alterations affecting the character are not likely to be permitted.  Mitigation of impact may require re-design and/or recording of building fabric prior to, or in conjunction with, the works.
	Repairs and maintenance	Apply Policies UM1, P2, MC1, MC3, MC4, MC5.  <ul style="list-style-type: none"> <li>● As a general principle, the aim must be to retain those characteristics which contribute to the architectural or historical interest of the building.</li> <li>● Confirm whether LBC is required. Routine like-for-like repair and maintenance, that does not alter the appearance or character of the building, does not normally require LBC, but discussion with planning authority</li> </ul>	Many works, such as internal repainting and external repainting in the same colour, and repair of windows (but not their replacement) will not require LBC.  Mitigation measures may include choice of appropriate materials, working methods and building recording in conjunction with the works.  Most works will not

		<p>advisable as even very minor works can require LBC. (N.B. complete replacement of an item such as a window or door, even if identical, <i>does</i> usually require LBC as it is classed as an alteration.)</p> <ul style="list-style-type: none"> <li>• Carry out appropriate assessment to determine the significance of those buildings or building elements affected, and establish the impact of the proposals.</li> <li>• Incorporate any measures necessary to mitigate the impact.</li> <li>• Submit LBC application if necessary.</li> <li>• Ensure arrangements for any building recording programme are in place before work starts.</li> </ul>	<p>require a programme of building recording, but this is more likely in the case of intrusive works.</p> <p>The requirements are likely to be more stringent, particularly internally, in the case of a Grade I Listed Building such as the Shire Hall and Courts, than for a Grade II building.</p>
<p><b>Significant buildings (not listed)</b></p> <p>Area A: No 16 Old Square, formerly Coffee Tavern and Dale Temperance Hotel.</p>	All works	<p>Apply Policies as for Significant Listed Buildings (above)</p> <ul style="list-style-type: none"> <li>• Listed Building Consent (LBC) is not required.</li> <li>• As a matter of good practice, the principles applicable to Listed Buildings (except those directly relating to LBC) should be followed to an appropriate degree.</li> </ul>	As for Listed Buildings (except those directly relating to LBC).
<p><b>Buildings of lower or no significance (Listed)</b></p> <p>Area A: 1932 offices; 1958 Council Chamber and Offices; 1966 Ante-rooms, Committee Rooms &amp; Offices (covered by Grade I Listing).</p> <p>Area C: No 12 Northgate Street (the block at rear).</p>	New development or alterations	<p>Apply Policies as for Significant Listed Buildings (above).</p> <ul style="list-style-type: none"> <li>• Although considered to be of lesser significance, these are covered by the Listing of the buildings of which they are considered to be extensions. All procedures for Significant Listed Buildings (above) must therefore be followed, including those relating to Listed Building Consent (LBC).</li> </ul>	<p>The Listed status of these buildings is a legal construct rather than necessarily a reflection of their true importance, although they are not all without interest.</p> <p>The basic principles are as for Significant Listed Buildings (above), although it is likely that the design and mitigation requirements for obtaining LBC will be less stringent than for a Significant Building.</p>

	Repairs and maintenance	Apply Policies as for Significant Listed Buildings (above).	As for new development and alterations.
<p><b>Buildings of lower or no significance (not listed)</b></p> <p>Area B: Barrack Street Offices.</p> <p>Area C: Court Offices; Warwickshire Museum Store (central part).</p>	<p>All works</p>	<p>Apply Policy UM1 to an appropriate degree.</p> <ul style="list-style-type: none"> <li>• Listed Building Consent is not necessary; only normal planning requirements apply.</li> <li>• As a matter of good practice, a basic assessment of significant proposals affecting the older buildings (the Court Offices and Museum Store in Area C) should be carried out, and any adverse impact of the proposal on original or notable features mitigated as far as appropriate.</li> <li>• The 1970s Barrack Street office block (Area B) is not considered to merit any consideration other than as required by normal planning legislation.</li> </ul>	<p>Area C only (Area B, Barrack Street block, is not considered to merit any special measures):</p> <p>Works that do not require planning consent are unlikely to merit a programme of building recording.</p> <p>Works affecting notable fixtures or fittings should respect those items where possible, and any significant impact mitigated by an appropriate building recording programme as a matter of good practice.</p> <p>Planning consent may be subject to a condition requiring an appropriate level of building recording.</p>

8.2.5 *Historic Collections*

Category of Significance	Nature of Proposal	of	Action to be taken	Potential outcome
Highest	Re-location or disposal of item(s)	of	Apply Policy P4. <ul style="list-style-type: none"> <li>Refer to the Inventory accompanying this Statement and the principles in section 5 of this Statement.</li> <li>Assess the significance of the item(s), both intrinsically and, more importantly, in relation to both their ownership and location.</li> </ul>	There should be a presumption that the existing status of items of the highest significance, with a significant relationship to public ownership or location, should be preserved.
Lesser	As above		As above	There should be a presumption that such items should be retained in public ownership, although re-location may be acceptable.
Low	As above		As above	Such items are not directly relevant to the Council (although their use or location may be appropriate). Relocation or proper disposal may be acceptable.

## 8.2.6 Conservation Areas

Category of Significance	Nature of Proposal	Action to be taken	Potential outcome
N/A	New development and external alterations to buildings (Listed and unlisted)	<p>Apply Policies UM1, P3.</p> <ul style="list-style-type: none"> <li>As a general principle, proposals should be designed to retain or enhance those characteristics which contribute to the special character of the Conservation Area.</li> <li>Demolition of buildings requires Conservation Area Consent (CAC), as well as any Planning and Listed Building Consents that may be necessary.</li> <li>Carry out appropriate assessment to determine the significance of those buildings or building elements affected, and establish the impact of the proposals.</li> <li>Discuss with planning authority</li> <li>Incorporate any measures necessary to mitigate the impact.</li> <li>Submit CAC application if necessary.</li> <li>Ensure arrangements for any building recording programme are in place before work starts.</li> </ul>	<p>Developments and alterations which have a detrimental effect on the Conservation Area will not be proposed.</p> <p>Any CAC application for such a development or alteration is unlikely to be granted.</p>
	External repair and maintenance to buildings (Listed and unlisted) and External repair and maintenance to buildings (Listed and unlisted) <i>cont'd.</i>	<p>Apply Policies UM1, P3.</p> <ul style="list-style-type: none"> <li>Repair and maintenance to buildings does not generally require Conservation Area Consent (CAC), but may do so if an Article 4 Direction is in force, for example restricting the colours which can be used on the exterior of a building.</li> <li>Carry out appropriate assessment to determine the significance to the Conservation Area of</li> </ul>	<p>Repair and maintenance works which have a detrimental effect on the Conservation Area will not be proposed.</p> <p>Any CAC application for such works (where required) is unlikely to be granted.</p>

		<p>those buildings or building elements affected, and establish the impact of the proposals.</p> <ul style="list-style-type: none"> <li>● Discuss with planning authority, and establish whether there is an Article 4 Direction in force covering the proposed works.</li> <li>● Incorporate any measures necessary to mitigate the impact.</li> <li>● Submit CAC application if necessary.</li> </ul>	
	<p>Removal or trimming tree(s)</p>	<p>General legal requirement, not specifically covered by Policies in this Statement.</p> <ul style="list-style-type: none"> <li>● Conservation Area Consent (CAC) is required to cut down, uproot, lop, top or otherwise wilfully damage any tree within a Conservation Area.</li> </ul>	

## 8.2.7 Ecology

Category of Significance	Nature of Proposal	Action to be taken	Potential outcome
N/A	All works: new development, alterations, maintenance and repair	<p>Apply Policies UM1, P5 (where works affect Northgate House), MC1, MC2, MC5.</p> <ul style="list-style-type: none"> <li>• Assess potential impact on ecological habitat, consulting County Ecologist as necessary.</li> <li>• Define any necessary mitigation, such as the timing of works, preservation of bat roosts etc.</li> </ul>	<p>There are unlikely to be any absolute constraints on works, but they may have to be programmed to take into account requirements such as bird nesting season and avoidance of disturbance to bats during maintenance.</p> <p>Proposals that would have an adverse effect on the most significant potential habitat, in the garden of Northgate House, should be avoided.</p>

## Bibliography and sources

### *Abbreviations*

NRO Nottinghamshire Record Office  
PRO National Archives (formerly Public Record Office)  
SBT Shakespeare Birthplace Trust  
SMR Sites and Monuments Records  
VCH Victoria County History  
WCC Warwickshire County Council  
WCRS Warwickshire County Records Series  
WDC Warwick District Council  
WM Warwickshire Museum  
WRO Warwickshire Record Office

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## **Other Sources**

### **WCC Warwickshire County Council Legal Services**

#### **Area A, Main Shire Hall complex**

WCC Deeds 3	12 Barrack Street
WCC Deeds 110	6 Market Place and 14 Barrack Street
WCC Deeds 225	Land to rear of Judges House
WCC Deeds 286	Judges House
WCC Deeds 287	Shire Hall
WCC Deeds 344, 345	Shire Hall
WCC Deeds 405	30 Old Square
WCC Deeds 507	26 Old Square
WCC Deeds 532	16 Old Square
WCC Deeds 533	18 Old Square
WCC Deeds 534	22-4 Old Square
WCC Deeds 535	28 Old Square
WCC Deeds 536	2 Market Place
WCC Deeds 538	10 Market Place and 2, 4 & 6 Barrack Street
WCC Deeds 561	12 Market Place
WCC Deeds 562	20 Old Square
WCC Deeds 563	1 Northgate Street
WCC Deeds 564	3 Northgate Street
WCC Deeds 565	5 Northgate Street
WCC Deeds 566	4 Market Square
WCC Deeds 567	7 Northgate Street
WCC Deeds 568	8, 10 Barrack Street
WCC Deeds 569	12a Barrack Street
WCC Deeds 570	8 Market Place

#### **Area B, North-west of Barrack Street**

WCC Deeds 108	Garden at east end of Joyce Pool and coachhouse (Plot B)
WCC Deeds 464	9 Barrack Street, 5 & 7 Joyce Pool
WCC Deeds 1247	11 Barrack Street
WCC Deeds 2163/2	20 Joyce Pool
WCC Deeds 2163/3	16 & 18 Joyce Pool
WCC Deeds 2163/4	8A, 10 & 12 Joyce Pool (including plan showing areas of Barrack Street site owned by WCC, with Land Registry numbers added, 2002)
WCC Deeds 2163/5	Bridewell / Police Station site
WCC Deeds 2163/6	13 Barrack Street
WCC Deeds 2163/7/2	1-25 Saltisford
WCC Deeds 2517	Warehouse adjoining 31 Saltisford
WCC Deeds 2615/3,4	Plot F (garden on Holloway)
WCC Deeds 2615/5	1-25 Saltisford and warehouse adjoining 31 Saltisford

#### **Area C, East of Northgate Street, Northgate and The Butts**

WCC Deeds 1	2-12 The Butts
WCC Deeds 4	The Butts
WCC Deeds 5	18 Northgate Street
WCC Deeds 89	10-14 Northgate Street
WCC Deeds 113	4 Northgate St
WCC Deeds 170	10-22 Northgate Street
WCC Deeds 171	6 Northgate Street
WCC Deeds 266	2A The Butts and 20 Northgate Street

WCC Deeds 307 18 Northgate Street  
WCC Deeds 428 2 Northgate Street

### **Area D, Northgate House**

WCC Deeds 788 Northgate House

## **Warwickshire County Record Office**

### **General**

WRO Census 1841-1901 Census returns

WRO CR 1097 Deeds of St Nicholas Church estate

WRO CR 1618/WA5/21, 23 Commoners Rolls, 1698-1943  
WRO CR 1618/WA16/1/13-25 Commoners Rolls, 1698-1943

WRO CR 1886/Cup 4/18 1575 manorial rental  
WRO CR 1886/Bl. 2524, 2525 1590 manorial inquisition  
WRO CR 1886/Bl. 8971 1615 manorial inquisition  
WRO CR 1886/Cup 4/BB 705 1619 manorial rental  
WRO CR 1886/Cup 4/19 1641 manorial rental  
WRO CR 1886/Cup 4/29 1707 manorial rental  
WRO CR 1886/tn275 1742 manorial rental

WRO DR 126 Various Warwick rate books  
WRO MI 355 1482 manorial rental (microfilm copy of PRO DL 43/9/21)

### **Maps and Plans**

#### *Area A, Main Shire Hall complex*

WRO CR 592, Box 10 16 Old Square, Plans of Coffee Tavern, c.1883

WRO CR 1157/1 Plan of Thomas Oaken's Land on Wall Dike (Barrack Street) by James Fish, 1706

WRO CR 1157/2 Undated plan of Warwick (late 18th century) (more detail than 1788 town map, but less complete).

WRO CR 1618/WA17/112 Sale catalogue for properties of Thomas Oken's Charity, 4th June 1879

WRO CR 2487 Warwick Borough Council, Building Regulation Plans

WRO CR 2487/WBC 372 Dale Hotel, 16 Old Square, Proposed new water closets etc, 1914

WRO CR 2487/WBC 457 6 Market Place, Proposed outbuilding and garage, 1922

WRO CR 2487/WBC 520/Box 58 County Hall, Proposed new Ladies Lavatory, 1924

WRO CR 2487/WBC 681/Box 59 Proposed New County Offices, 1928-9

WRO CR 2487/WBC 851 Judges House, new lavatory and frontage wall, 1932

- WRO CR 2487/WBC 896/Box 62 3 Northgate Street, Proposed alterations, 1933
- WRO CR 2487/WBC 1724 County Offices, Temporary Office Accommodation, 1947
- WRO CR M1886/M24 Map of Warwick by Matthias Baker, 1788, Warwickshire County Record Office
- WRO QS 24/36 Plan for the Judges House at Warwick, Jan 8th 1814
- WRO QS 24/40, 42 Alterations to Shire Hall and Courts, 1864
- WRO QS 24/566 Plan for new Store House for the Warwickshire Militia, 1846
- WRO QS 24/570 Plans for the Militia Depot and other works at Warwick, by Mr Kendall, County Surveyor, November 29th 1861
- WRO QS 24/578 Plan 8 Design for an addition to Warwick Gaol, 4th August 1787
- WRO QS 24/578/15 No 20 Sketch plan of Warwick streets showing diversion of Bridewell Lane, by H Couchman, February 4th 1790
- WRO QS 24/578/16 No 21 Sketch plan of Warwick streets showing diversion of Bridewell Lane, by H Couchman, March 4th 1790
- WRO QS 24/579 No 4 Plan of Gaol as existing, Feb 1787
- WRO QS 24/579 No 6 Plan of proposed Gaol extending across Bridewell Lane
- WRO QS 24/579 No 14 Plan of proposed cell blocks, by H Couchman
- WRO QS 24/579 No 24 Plan of proposed new Gaol, by H Couchman
- WRO QS 24/579 No 27 Plan of proposed Governor's House, by H Couchman
- WRO QS 24/579 Unnumbered Copy of Mr Couchman's plan of property to be purchased

*Area B, north-west of Barrack Street*

- WRO CR 26/1 (2) Garden bought by H E Landor at east end Joyce Pool, 25 Mar 1834
- WRO CR 26/1 (2) Garden at east end Joyce Pool, 12 Jan 1861
- WRO CR 237/36/14 1 West Rock, sketch plan on deed, 24 Feb 1855
- WRO CR 410/M81, No. 8 Plans of the Estate of Edward Wigley, c.1820
- WRO CR 785 Plan of the Bridewell, 1 Dec 1859
- WRO CR 1471/box 2, bundle 7 16 Barrack Street plan in deed, 18 Nov 1899
- WRO CR 2487/WBC 546 13 Barrack Street (Hare & Hounds): new Billiard Room, Apr 1925
- WRO CR 2487/WBC 835 New roadway on site of 17 & 18 Barrack Street, July 1932
- WRO CR 2487/WBC 835, Car Park built on garden at east end Joyce Pool, June 1932

WRO CR 2487/WBC 1422 Plan of new buildings on site of Bridewell, 29 Sep 1939

WRO CR 2487/WBC 1510 Plans of alterations to the Police Station, Barrack Street, Sep-Nov 1941

WRO QS 24/579/18 Plan of Bridewell, Joyce Street and Barrack Street, c. 1785

*Area C, East of Northgate Street, Northgate and The Butts*

WRO CR 1886/4986 2 Northgate Street

WRO CR 2487/WBC 1071A Plans of proposed alteration, No 2 Northgate Street, 1935

WRO CR 2487/WBC 330 Plans of additions to Police HQ, Northgate, 1911

WRO CR 2487/WBC 395 Plans of proposed alteration, No 12 Northgate Street, 1917

WRO CR 2487/WBC 522 Plans of addition to Finance Offices, Northgate Street, 1924

WRO CR 2487/WBC 624 Plans of proposed alteration, No 18 Northgate Street, 1927

WRO CR 2487/WBC 794 New County Offices, Northgate Street, 1934

WRO CR 2487/WBC 806 Education Stores, The Butts: plans as existing and proposed, 1931

WRO CR 2487/WBC 1071A Plans of drainage, No 2 Northgate Street, Aug 1935

WRO CR 2487/WBC 1170 Plans of alterations to Finance Offices, Northgate Street, 1936

WRO CR 2487/WBC 1927 Plans of adaptation of Police HQ, Northgate, as County Planning Office, 1949

WRO CR 3065/307 Site plan of No 16 Northgate Street, 1850

WRO CR 3065/428 2 Northgate Street

WRO QS 24/566 Militia Stores, 12 & 14 Northgate Street, 1859

*Area D, Northgate House*

WRO CR 26/2 (3) Wise Estate Maps, 1803

WRO CR 2487/WBC 827 Plans of Alterations to Northgate House, 1931

***Prints, views and photographs****Area A, Main Shire Hall complex*

## Northgate Street

- WRO CR 1125/94/9 Northgate Street (looking from arch below St Mary's tower) (1920s?)
- WRO CR1125/94/10 Northgate Street (1920s)
- WRO PH (N)343/42 View from St Mary's, postcard, (c.1907)
- WRO PH 350/24/2 County Hall, postcard, J. J. Ward, 1122, (1910s)
- WRO PH 350/2455 St Mary's from Northgate Street, postcard, Frith's (c.1905)
- WRO PH 350/2479 Procession to unveiling of war memorial, postcard, Debenham photo (c 1905)
- WRO PH 543/74/143 Northgate Street, 1890-1962
- WRO PH 143/833-874
- WRO PH 202/14-17 Nos 5 & 7 (next to Judges Lodging)(1950s)
- WRO PH 222/11 Northgate Street looking towards St Mary's (c.1900) (modern print)
- WRO PH 222/27 View over Militia Barracks (c 1890) (modern print)
- WRO PH 252/28, 29 Procession on way to unveiling of war memorial, postcard, Debenham (c1902) modern print
- WRO PH 386 (1932) Aerial view of Shire Hall area shortly after opening of new buildings photographs of WRO CR2247/GP2 Shire Hall etc taken for souvenir to commemorate the opening by HM Queen Mother
- WRO PH 143/1118-1119 18th century wooden model of County Gaol
- WRO PH 143/1120-1121 18th century wooden model of Shire Hall
- WRO PH 143/1122-1129 Shire Hall exteriors (1900-1964)
- WRO PH 143/1130-1132 Opening ceremony for Shire Hall extension 1932
- WRO PH 143/1133 Interior of Committee Room 1932
- WRO PH 143/1134-1140 Courts (1942?)
- WRO PH 143/1146-1162 Opening of new Shire Hall by HM Queen Mother 1966
- WRO PH 143/1242 photograph of a painting 1827
- WRO PH 192/23 Shire Hall interior decorated for bazaar 1905
- WRO PH 192/24 Interior of Council Chamber, Shire Hall (c.1958)
- WRO PH 192/25-36 Opening of Shire Hall extension by HM Queen Mother, 1966
- WRO PH 143/1141 Crown Court 1951
- WRO PH 143/1142 Dungeon 1951
- WRO PH 143/1143-1144 Shire Hall Market Place extension during construction 1962-63
- WRO PH 143/1145 Shire Hall mural sculpture in courtyard, 1964
- WRO PH 143/1146-1152 Interior of Council Chamber (c.1966)
- WRO PH 196 Interior of Dungeon, Shire Hall (photo album)
- WRO PH 406/64 Interior of Dining Room, Judges Lodgings, 1984
- WRO PH 406/67 Interior of Shire Hall decked out for a charity bazaar 1905
- WRO PH 352/187/82 St Mary's Church (from Northgate Street)(1900s)
- WRO PH 352/187/195 St Mary's Church (from Northgate Street), postcard, (1900s)
- WRO PH 543/61 Northgate Road (ie Street) looking towards Northgate House, postcard, ER. 1907
- WRO PH 352/187/236 Northgate Street, Warwick, looking towards St Mary's Church, postcard, H.L. Young (c.1910)
- WRO PH 578/p116 Northgate Street showing Shire Hall etc (c.1905)
- WRO PH 599/848 Northgate Street looking towards St Mary's (1950s)

- WRO PH 607 Evening class in the searchroom of the County Record Office, Shire Hall (c.1972)
- WRO PH (N)600/10/1 Shire Hall from the Market Place 1967
- WRO PH (N)600/10/1 Shire Hall from Northgate Street 1967
- WRO PH (N)600/10/2-6 Redecorated Shire Hall 1954
- WRO PH (N)600/10/7-8 Remains of Judges Lodgings 1954
- WRO PH (N)600/10/9-11 Council Chamber, Shire Hall 1958
- WRO PH (N)600/10/12 Muniment Room, County Buildings 1940
- WRO PH (N)600/10/13 Facade of proposed County Buildings 1939
- WRO PH (N)600/10/14-16 Exterior of County Buildings 1939
- WRO PH (N)600/10/17 Aerial view of Shire Hall (1940s?)
- WRO PH (N)600/10/18 Entrance gates Shire Hall 1948
- WRO PH (N)600/10/19-20 Inner courtyard with fountain, Shire Hall 1932
- WRO PH (N)600/10/21-22 Clerk of the Peace's Office 1932
- WRO PH (N)600/10/23 Law Library, Shire Hall 1932
- WRO PH (N)600/10/24 Committee Room, Shire Hall 1932
- WRO PH (N)600/10/25-27 Inner Courtyard, Couty Buildings 1932
- WRO PH (N)600/10/28-30 Muniment Room 1953
- WRO PH (N)600/10/31-32 Carving coat of arms, Shire Hall 1954
- WRO PH (N)600/20/5 Northgate Street including St Mary's (1950s)
- WRO PH (N)600/30/1 Northgate Street including St Mary's 1948
- WRO PH (N)600/30/2-3 Northgate Street from St Mary's Church (1948)
- WRO PH (N)600/30/4 Northgate Street from St Mary's Church 1961
- WRO PH (N)600/76/5 Fountain, County Buildings, floodlit, 1951 (?)
- WRO PH (N)600/76/12 Northgate Street and St Mary's, floodlit 1951 (?)
- WRO PH (N)600/76/16-19 Courtyard, County Buildings, floodlit 1951 (?)
- WRO PH (N)600/86/3-4 Gates of Shire Hall 1957
- WRO PH (N)600/86/33 Courtyard and archway, Shire Hall 1958
- WRO PH (N)600/255/1 Declaration of the poll at the Shire Hall, 1959 Election
- WRO PH (N)600/255/2-4 Declaration of the poll, 1957 Election
- WRO PH (N)600/255/7-10 Declaration of the poll, 1951 Election
- WRO PH (N)600/255/11-18 Declaration of the poll, 1959 Election
- WRO PH (N)600/553/22 Shire Hall gates, floodlit, 1935
- WRO PH (N)600/553/23-24 Shire Hall gates, floodlit, 1935
- WRO PH (N)600/553/26-27 Northgate Street and St Mary's floodlit, 1935
- WRO PH (N)600/609/3-4 Proclamation of Queen Elizabeth II from the Shire Hall, 1952
- WRO PH (N)600/659/62-65 Declaration of the poll at the Shire Hall, 1959 General Election
- WRO PH (N)600/659/66 Declaration of the poll at the Shire Hall, 1957 General Election
- WRO PH (N)600/659/85-95 Declaration of the poll at the Shire Hall, 1955 General Election
- WRO PH (N)600/704/1-4 Group photographs of County Councillors in the courtyard of Shire Hall 1958
- WRO PH (N)600/707/1-34 Building the new Council Chamber at Shire Hall, 1957
- WRO PH (N)644/11-12 Building adjoining Judges Lodges (1960s)
- WRO PH 855/11 Northgate Street and St Mary's floodlit, (1940s?)
- WRO PH (G)890/34 Shire Hall and Northgate Street 1980
- WRO PH (G)890/54 Northgate Street 1980
- WRO PV.WAR.NOR.3 Northgate Street, photograph of watercolour, D. Cox 1829
- Old Square**
- WRO CR 367/128/180 Old Square looking towards St Mary's, postcard, (1910s)
- WRO PH 143/875 View towards Church c.1890
- WRO PH 143/876 View towards Church (1920s)
- WRO PH 143/877 No 18 Old Square 1925

WRO PH 195/45	View towards Church (c.1882)
WRO PH 350/2451	Old Square & Post Office postcard (c.1905)
WRO PH 352/187/14	St Mary's Church (from Old Square) postcard (1900s)
WRO PH 352/187/362	The Dale Temperance Hotel (c.1910)
WRO PH 420/80	Old Square, postcard, ER52 (1900s)
WRO PH 543/71	Looking towards Old Square from the Market Place, postcard ER (1907)
WRO PH 620/3	Church tower (c.1950)
WRO PH(N) 600/86/31, 32	Terracotta panels, Coffee Tavern 1958
WRO PH(N) 620/3	Looking down on Old Square with the Mop from St Mary's
WRO PH (T)890/55-56	Coffee Tavern, Old Square 1981
WRO PH (T)890/91	Coffee Tavern, Old Square 1983

### Shire Hall

WRO PH 143/455, 457	County Record Office search room, 1959
WRO PH 143/456	County Record Office staffroom, 1959
WRO PH 143/458	County Record Office storeroom, 1939
WRO PH 143/459-461	County Record Office strongrooms, 1959
WRO PH 143/462	County Record Office repair room, 1959
WRO PH 143/463-464	County Record Office strongroom, 1966
WRO PH 143/455-457	County Record Office staff, c.1968
WRO PH 143/467-469	County Record Office, Baptism register before repair (1950s, 1960s)
WRO PH 645/1	Detail of pilaster & festoon 1983
WRO PH 645/2	Corinthian capital, Crown Court, 1983
WRO PH 645/3	Gallery, Nisi Prius Court 1983
WRO PH 645/4	Plasterwork ceiling, Grand Jury Room 1983
WRO PH 645/5	Plasterwork ceiling, Crown Court 1983
WRO PH 645/6	Entrance to Octagon from Shire Hall 1983
WRO PH 645/7	Interior of Court 1983
WRO PH 645/8	Interior of Anteroom 1983
WRO PH 645/9	Interior of 18th century Shire Hall 1983
WRO PH 645/10	Exterior of 18th century Shire Hall 1983
WRO PH 645/11	Contact prints showing interior and exterior views of 18th century Shire Hall 1983

### Area B, North-west of Barrack Street

#### Barrack Street and Bridewell

WRO PH 143/48	Central block of Police Station from south side of Barrack Street, Nov 1962
WRO PH 143/50	Police Station from west end of Barrack Street, Nov 1962
WRO PH 143/51	Central block of Police Station from south side of Barrack Street, Nov 1962
WRO PH 143/52	Police Station from west end of Barrack Street, 1966
WRO PH 143/53	Back of Police Station from West Rock, 1966
WRO PH 143/54	Rear of Police Station from north (central block & west wing), 1971
WRO PH 143/55	Rear of Police Station from north (east wing), 1971
WRO PH 143/56	Rear of east end of Police Station from Joyce Pool, 1971
WRO PH 143/56a	East end of Barrack Street, no. 16 visible on left (Country Life), 1951
WRO PH 143/57	Police Station from west end of Barrack Street (demolition started), 1972
WRO PH 143/59	Police Station and no's 9-17 Barrack Street, 1930s

WRO PH 143/61 Police Station from east end of Barrack Street, Nov 1962  
 WRO PH 143/65 Back of Police Station from Iron Bridge, 1966  
 WRO PH 143/616 Side of Police Station from Iron Bridge, c.1970  
 WRO PH 143/617 as above  
 WRO PH 143/615 Side of Police Station from Iron Bridge, c.1970  
 WRO PH 143/622 Court behind Police Station: backs of Nos 13-31 Saltisford visible (NMR), 1940s  
 WRO PH 143/623 Court behind Police Station (NMR), 1940s  
 WRO PH 343/60 Police Station and Nos 9-20, c.1905  
 WRO PH 1035/C7154 & WRO PH578/p119 Nos 1-3, c.1960  
 WRO PH 1035/A8357 West wing of Police Station from Rose & Crown, 1971

#### Joyce Pool

WRO PH 143/624 Nos 10-16, 1963  
 WRO PH 143/625 No 20 and side gate to Bridewell, c.1966  
 WRO PH 1035/A2002 Nos 10-16, c.1960  
 WRO PH 1035/A2001 No 20, c.1960

#### Holloway and West Rock

WRO PH 143/618 Looking north-east from Iron Bridge, 1971  
 WRO PH 143/620 No 1 West Rock from below the Iron Bridge, c.1950  
 WRO PH 143/621 No 1 West Rock from below the Iron Bridge, c.1950  
 WRO PH 143/1306 Site of No 1 West Rock from the Iron Bridge, 1966  
 WRO PH 143/1304 No 1 West Rock from Theatre Street, 1925  
 WRO PH 143/1305 Site of No 1 West Rock from the Iron Bridge, 1950s  
 WRO PH 409/3-22 Holloway during road works, c. 1970  
 WRO PH 620/13-15 No 1 West Rock during demolition, 1956  
 WRO PH 620/12 No 1 Barrack Street, Iron Bridge, and outhouse in yard of No 1 West Rock, 1956  
 WRO PH 620/11 No 1 Barrack Street, Iron Bridge, and outhouse in yard of No 1 West Rock, 1956  
 WRO PH1035/C2167 No 1 West Rock from the Holloway, 1956  
 WRO PH1035/C2166 No 1 West Rock: cellars from the Holloway, 1956  
 WRO PH1035/C2168 No 1 West Rock from the Iron Bridge, 1956?  
 WRO PH1035/B8060 Holloway and Iron Bridge from the Globe courtyard, c.1975  
 WRO PH1035/D1701-1704 Holloway during infilling, 1985  
 WRO PH1035/C2418 North west side of Holloway, 1960s  
 WRO PH 1035/B8237 No 1 West rock and Holloway from Iron Bridge, c.1950  
 WRO PH1035/F1902-1903 Holloway during initial blocking to traffic, 1974  
 WRO PH 1035/C2417 Holloway from the Iron Bridge, 1960s  
 WRO PH 1035/B8238 Iron Bridge, 1975

#### Saltisford

WRO PH 143/1114 Nos1-31 Saltisford (NMR), 1948?

#### Aerial and General

WRO PH 352/187/133 Market Square (Barrack Street visible at top), 1920  
 WRO PH 143/708 Market Square (Barrack Street visible at top), 1920  
 WRO PH 143/1117 & WRO PH1035/C6371 Barrack Street and Northgate Street, Oct 1932  
 WRO PH 143/864 Barrack Street and Saltisford from St Mary's Tower, 1955  
 WRO PH 222/27 Barrack Street and Saltisford from St Mary's Tower, c.1890  
 WRO PH 326 Holloway and Saltisford, 1976

WRO PV WAR Gen. 33, View from the Pigwells towards the Shire Hall, showing the roofs of houses on the Saltisford, in Joyce Pool and on Barrack Street, Early 19th century.

*Area C, East of Northgate Street, Northgate and The Butts*

- WRO PH 143/37 2 Northgate Street (Warwick Society), 1956  
 WRO PH 143/326 Northgate Street: aerial photo from south-west, 1930s  
 WRO PH 143/832 Police HQ and beginning of Northgate Street, c.1925  
 WRO PH 143/833 Northgate Street: east side, looking south from No 14 (Frith photo), c.1890  
 WRO PH 143/840 Northgate Street: east side, looking south, 1947  
 WRO PH 143/835 Northgate Street: No 22 (Country Life), 1951  
 WRO PH 143/836 Northgate Street: Nos 18 & 20 (Country Life), 1951  
 WRO PH 143/837 Northgate Street: east side, looking south, 1961  
 WRO PH 143/837 Northgate Street: east side, looking south from No 18, 1961  
 WRO PH 143/841 Interior of no. 2 Northgate Street, room on 1st floor (S A Jeavons), 1949  
 WRO PH 143/842 2 Northgate Street (National Monuments Record), 1942?  
 WRO PH 143/844 Interior of 2 Northgate Street, room on 1st floor (S A Jeavons), 1949  
 WRO PH 143/845 Interior of 2 Northgate Street, room on 1st floor (S A Jeavons), 1949  
 WRO PH 143/846 Interior of 2 Northgate Street, staircase (S A Jeavons), 1949  
 WRO PH 143/847 Interior of 2 Northgate Street, entrance hall (S A Jeavons), 1949  
 WRO PH 143/848 Interior of 2 Northgate Street, room on ground floor (S A Jeavons), 1949  
 WRO PH 143/849 Interior of 2 Northgate Street, room on ground floor (S A Jeavons), 1949  
 WRO PH 143/850 Interior of 2 Northgate Street (S A Jeavons), 1949  
 WRO PH 143/851 Interior of 2 Northgate Street (S A Jeavons), 1949  
 WRO PH 343/56 Buildings at rear of Northgate Street at top end of The Butts (County Library), c.1907  
 WRO PH 352/187/236 Postcard of Northgate Street, from north end, c.1910  
 WRO PH 352/187/336 Aerial photograph of Northgate Street from the south, 1920s  
 WRO PH 423/75 St Mary's Church from the east showing rear of 2 Northgate Street, 1900s  
 WRO PH 423/91, 92 Buildings at rear of Northgate Street at top end of The Butts, 1920s  
 WRO PH 1035/A3922 Postcard showing No 2 Northgate Street, 1904  
 WRO PH 1035/A4641 Northgate Street, c.1900  
 WRO PH 1035/B3118 Northgate Street: east side, looking north, c.1900  
 WRO PH 1035/B5688 22 Northgate Street (Rosemary Booth), 1978  
 WRO PH 1035/B6138 22 Northgate Street (Rosemary Booth), 1978  
 WRO PH 1035/B6139 18-22 Northgate Street (Rosemary Booth), 1978  
 WRO PH 1035/B6140 Northgate Street: east side, looking south from No 20 (Rosemary Booth), 1978  
 WRO PH 1035/F0642 North elevation of 22 Northgate Street

*Area D, Northgate House*

Northgate House

- WRO PH 1035/C1106 Northgate House, c.1884  
 WRO PH 343/57 Postcard: Northgate House (on left) and the Police HQ (on right), c.1907

- WRO PH 343/824 Northgate House, from *The Architects' Journal*, No 103, 1930  
WRO PH 343/827 Centre of Northgate House, mid-20th century  
WRO PH 343/829 Northgate House (*Country Life*), 1951  
WRO PH 210/13 Northgate House (Philip Chatwin), c.1950  
WRO PH 143/825 Northgate House (National Monuments Record), 1942?  
WRO PH 1035/B9470 Northgate House (Rosemary Booth), 1979  
WRO PH 143/831 Rear of Northgate House (National Monuments Record), 1948?  
WRO PH 143/828 Staircase in Northgate House (National Monuments Record), 1948?  
WRO PH 143/830 Panelled room in Northgate House (National Monuments Record), 1942?

*Photographs in italics are probably of the eastern half of Northgate House (not in WCC ownership).*

## **Appendix A: Sites and Monuments Record entries**

<i>SMR No</i>	<i>Description</i>
MWA 1923	Line of medieval town defences
MWA 1938	Site of Medieval Gaol
MWA 1939	Shire Hall
MWA 1943	St Mary's Church
MWA 1967	Site of Warwick Market Cross
MWA 1984	Site of College of Vicars Choral
MWA 2153	Site of medieval Market (Booth) Hall in Market Place
MWA 2181	Find of 17th-century pottery bird whistle at Northgate Street in 1937
MWA 2182	Find of post-medieval pottery jug at Barrack Street
MWA 2183	Find of late 16th-century medicine bottle in Northgate Street
MWA 2184	Finds of 14th/15th-century and post-medieval pottery and glass etc from Shire Hall extensions in 1956
MWA 2188	Excavation of town defences and medieval buildings at Barrack Street
MWA 2191	Possible line of Anglo Saxon defences
MWA 5518	Site of 18th-century Gaol
MWA 9176	Emergency Planning Centre (under Shire Hall)

<b>SMR Number</b>	<b>Site Name</b>	<b>Record Type</b>
1923 - MWA1923	Warwick Town Defences	Monument
Other Structure, Documentary		

#### **Monument Types and**

DEFENCE (Defences, Medieval - 1066 AD to 1539 AD)  
DITCH (Medieval - 1066 AD to 1539 AD)  
TOWN GATE (Medieval - 1066 AD to 1539 AD)  
WALL (Medieval - 1066 AD to 1539 AD)

#### **Description and Sources**

##### **Description**

<1> The fortification of Warwick was complicated by the building of a town wall, possibly placed near Ethelfleda's rampart (PRN 2191). The earth rampart was located during excavation in 1964. This consisted of a rampart inside the line of the town wall, and a ditch in places 7.6m wide and 2.7m deep cut into the sandstone. The wall was built on the top of the rock face. The date of this work is not known. According to Rous, Turchil of Arden, on orders from William the Conqueror, constructed a ditch and gates but did not build walls. Grants of murage in 1305 and 1315 are likely to have been connected with the upkeep of the wall. Outside the wall ran the 'common ditch', mentioned as early as the mid 13th century and possibly following the ditch of Ethelfleda. There were three main gates through the walls, on the N, E and W. Most of the wall had already been demolished by the early 16th century. The town ditch survived, at least in part, into the 15th century. The only remaining sections adjoin the N side of the two gatehouses, but the approximate position of the rest is indicated by the layout of streets which encircle the Old Town. Outside the line of the ditch run the street now called Bowling Green Street, Theatre Street, Joyce Pool, Chapel Street, Gerrard Street, and Mill Street. Inside the wall line are Market Street, Barrack Street and the Butts. In the neighbourhood of the castle modern changes have obscured the pattern, but formerly both Brittain Lane and Back Hills seem to have run inside the line of the walls. There is no mention of a town gate to the S.

<2> Plan of Warwick in 1965.

<3> Observation of the laying of a new water main in 1997 (WA 8216) located the probable outer edge of the

##### **Sources**

- (1) Bibliographic reference: Pugh R B (ed). 1969. Victoria County History, vol 8, Warwickshire. Warwickshire. Pages 418-20
- (2) Bibliographic reference: Pugh R B (ed). 1969. Victoria County History, vol 8, Warwickshire. Warwickshire. Plan page 433
- (3) Observation Report: Palmer, S. 1997. Arch Obs of Warwick Town Water Main Renewal.

##### **Location**

**National Grid Reference - Not recorded**

##### **Administrative Areas**

Civil Parish Warwick, Warwick, Warwickshire

**Address/Historic Names - None recorded**

##### **Designations, Statuses and Scorings**

**Associated Legal Designations - None recorded**

##### **Other Statuses and Cross-References**

Sites & Monuments Record - 1923

Active

**Ratings and Scorings - None recorded**

##### **Land Use**

**Associated Historic Landscape Character Records - None recorded**

**Other Land Classes**



**SMR Number** 1938 - MWA1938      **Site** Site of Post Medieval Gaol, Northgate Street

<b>SMR Number</b>	<b>Site Name</b>	<b>Record Type</b>
1938 - MWA1938	Site of Post Medieval Gaol, Northgate Street	Monument

The site of a Post Medieval gaol in Northgate Street, Warwick. Destroyed by the fire of 1694, it was rebuilt within two years, and later repaired in 1779.

**Monument Types and**

GAOL (Post-medieval - 1540 AD to 1750 AD)  
PRISON (Post-medieval - 1540 AD to 1750 AD)

**Description and Sources**

**Description**

<1> In 1676 a new gaol and house of correction was built. This was destroyed in the fire of 1694 but rebuilt within two years. In 1719 there were eight chambers let to prisoners for rent, a women's ward and various chambers and garrets which were occupied rent free by debtors, also a debtor's hall and dungeon hall. Urgent repairs were necessary in 1758; rebuilding was authorised in 1777 and began in 1779 (PRN 5518).

**Sources**

- (1) Bibliographic reference: Pugh R B (ed). 1969. Victoria County History, vol 8, Warwickshire. Warwickshire. Page 450

**Location**

**National Grid Reference**

Centroid SP 2812 6506 (MBR: 10m by 10m)      SP26NE      Area

**Administrative Areas**

Civil Parish      Warwick, Warwick, Warwickshire

**Address/Historic Names - None recorded**

**Designations, Statuses and Scorings**

**Associated Legal Designations - None recorded**

**Other Statuses and Cross-References**

Sites & Monuments Record - 1938      Active

**Ratings and Scorings - None recorded**

**Land Use**

**Associated Historic Landscape Character Records - None recorded**

**Other Land Classes**

Landuse      Built over

**Related Monuments**

5518      C18 Gaol, Northgate Street, Warwick      Cultural

**Finds - None recorded**

**Associated Events/Activities - None recorded**

**Associated Individuals/Organisations - None recorded**

**SMR Number** 1939 - MWA1939 **Site** Shire Hall, Warwick

<b>SMR Number</b>	<b>Site Name</b>	<b>Record Type</b>
1939 - MWA1939	Shire Hall, Warwick	Building

The Shire Hall, a building that was constructed during the Imperial Period. It may be found in Northgate Street,

**Monument Types and**

BUILDING (Imperial - 1751 AD to 1913 AD)

**Description and Sources**

**Description**

<1> The Shire Hall was built in 1753-8 to a design by Sanderson Miller. It was constructed of red sandstone, a one storey hall and 9 bays long. There is a 3-bay pediment. The pilasters are doubled at the angles. The length consists of one room 93 feet by 34 feet, stone faced inside with pilasters and columns, and a coffered ceiling. There are two octagonal courtrooms with free-standing Corinthian columns.

**Sources**

(1) Bibliographic reference: Pevsner N and Wedgwood A. 1966. The Buildings of England: Warwickshire.  
Page 457

**Location**

**National Grid Reference**

Centroid SP 2813 6505 (MBR: 10m by 10m) SP26NE Point

**Administrative Areas**

Civil Parish Warwick, Warwick, Warwickshire

**Address/Historic Names - None recorded**

**Designations, Statuses and Scorings**

**Associated Legal Designations - None recorded**

**Other Statuses and Cross-References**

Sites & Monuments Record - 1939	Active
Listed Building (II)	Active

**Ratings and Scorings - None recorded**

**Land Use**

**Associated Historic Landscape Character Records - None recorded**

**Other Land Classes - None recorded**

**Related Monuments**

2184	Finds from Excavations at Shire Hall	Cultural
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**Finds - None recorded**

**Associated Events/Activities - None recorded**

**Associated Individuals/Organisations - None recorded**

**SMR Number** 1943 - MWA1943 **Site** Collegiate Church of St Mary, Warwick

<b>SMR Number</b>	<b>Site Name</b>	<b>Record Type</b>
1943 - MWA1943	Collegiate Church of St Mary, Warwick	Building

The collegiate church of St Mary, Warwick, was first built during the Medieval period. The main body of the church was rebuilt, however, during the Post Medieval period after the fire of 1694. It contains the Beaumont Chapel, built to house the tomb of an Earl of Warwick.

### **Monument Types and**

CHURCH (Medieval to Post-medieval - 1066 AD to 1750 AD)

### **Description and Sources**

#### **Description**

<1> Nave with N and S aisles, N and S transepts, choir, and W tower; to the N of the choir the choir vestry, priest's vestry and chapter house, with the sacristan's room above the vestries; to the S of the chapel the Lady Chapel (Beauchamp Chapel), with a narrow space between the two containing an altar. Crypt beneath the choir and the rooms to the N. The older part of the crypt is Norman, and is all that remains of the building erected c1123. Choir of 14th century date. Beauchamp Chapel built c1442-62 for the tomb of Richard Beauchamp, Earl of Warwick (d1439). The main body of the church - nave, aisles, transepts and tower - dates from 1697-1704, by Sir William Wilson, replacing the earlier structure destroyed in the fire of 1694. Generally Gothic but with many Classical details. W tower rebuilt to W of nave on arches spanning the road, owing to structural problems in the nave itself. The oldest monument is that in memory of Thomas Beauchamp I, Earl of Warwick (d1369), in the choir. Other monuments in the Beauchamp Chapel include those to Ambrose Dudley, Earl of Warwick (d1590), and Robert Dudley, Earl of Leicester (d1588) and his wife. Further memorials in the S transept and elsewhere. The church is first mentioned in 1086.

<2> Plan of the church.

<3> Drawing of the south elevation before 1694.

<4> History as a collegiate church given.

<12> Noted by Ordnance Survey.

<13> No evidence of Medieval remains was recorded from the trenches. The earliest surviving deposits were entirely plausible as the backfilling of quarries dug to supply stone for the rebuilding of the west end of the church in the late C17th to early C18th. These had been cut by graves dating from the early C18th onwards, probably including the barrell-vaulted chamber aligned east-west against the north side of the chancel.

#### **Sources**

- (1) Bibliographic reference: Pugh R B (ed). 1969. Victoria County History, vol 8, Warwickshire. Warwickshire. Pages 522-529
- (2) Bibliographic reference: Pugh R B (ed). 1969. Victoria County History, vol 8, Warwickshire. Warwickshire. Plan page 526
- (3) Bibliographic reference: Pugh R B (ed). 1969. Victoria County History, vol 8, Warwickshire. Warwickshire. Drawing opposite page 528
- (4) Bibliographic reference: Page W (ed). 1908. Victoria County History, vol 2, Warwickshire. Warwickshire. Page Ref - 124-9
- (5) Bibliographic reference: PBC. 1928. TBAS vol 53. Volume - 53, Page Ref - 145-72
- (6) Photograph: 1928. TBAS vol 53. Volume - 53, Page Ref - Plates IV-XVII
- (7) Bibliographic reference: PBC. 1937. TBAS vol 61. Volume - 61, Page Ref - 1-10, 43
- (8) Bibliographic reference: PBC. 1943-4. TBAS vol 65. Volume - 65, Page Ref - 1-40
- (10) Bibliographic reference: Pevsner N and Wedgwood A. 1966. The Buildings of England: Warwickshire. Pages 443-451
- (11) Descriptive Text: DoE. LBL. Volume - Warwick Borough
- (12) Unpublished document: Ordnance Survey. OS Card, 47SW. Volume - 26SE
- (13) Archaeological Report: C Coutts & C Jones. 2006. Archaeological Observation at the Collegiate Church of St Mary, Warwick.

### **Location**

#### **National Grid Reference**

Centroid SP 28199 64980 (MBR: 68m by 39m) SP26SE Area

**SMR Number** 1943 - MWA1943 **Site** Collegiate Church of St Mary, Warwick  
*cont'd*

**Administrative Areas**

Civil Parish Warwick, Warwick, Warwickshire

**Address/Historic Names - None recorded**

**Designations, Statuses and Scorings**

**Associated Legal Designations - None recorded**

**Other Statuses and Cross-References**

<b>Dates</b> Sites & Monuments Record - 1943	Active
Conservation Area	Active
Ecclesiastical Use	Active
Listed Building (I)	Active

**Ratings and Scorings**

MPP Processed Yes

**Land Use**

**Associated Historic Landscape Character Records - None recorded**

**Other Land Classes**

Landuse	Churchyard
Landuse	Garden
Landuse	In use as building
Landuse	In use as building
Landuse	Throughfare

**Related Monuments - None Recorded**

**Finds - None recorded**

**Associated Events/Activities**

EWA7613 Collegiate Church of St Mary, Warwick (Salvage Recording)

**Associated Individuals/Organisations - None recorded**

**SMR Number** 1967 - MWA1967 **Site** Site of Warwick Market Cross, Market Place

SMR Number	Site Name	Record Type
1967 - MWA1967	Site of Warwick Market Cross, Market Place	Monument

Documentary evidence suggests that this is the site of Warwick Market Cross, which stood on the east side of

**Monument Types and**

- FAIR (Medieval to Post-medieval - 1066 AD to 1750 AD)
- MARKET (Medieval to Post-medieval - 1066 AD to 1750 AD)
- CROSS (Post-medieval - 1540 AD to 1750 AD)
- MARKET CROSS (Cross-Market, Post-medieval - 1540 AD to 1750 AD)

**Description and Sources**

**Description**

<1> Dugdale's 1650 edition, speaking of Thomas Fisher, records that his true name was Hawkins, and that his father by profession sold fish at the Mercate Cross near Warwick. The plan of Warwick shows this cross as standing on a base on a step or two in the Market Square.

<2> Market (Prescriptive: borough, mint) recorded 1088x1119 when Henry de Beaumont, earl of Warwick, granted a tenth of the toll to one of his priests. Market also recorded in the mid thirteenth century. In 1279, the market days were Wed and Sat. Fair (Charter) vfm+5, Peter ad Vincula (1 Aug); gr 5 Oct 1261, by K Hen III to John de Plessis, earl of Warwick and his successors in the earldom. On 22 Sept 1262, John de Plessis, earl of Warwick granted to his burgesses a fair on 6+f+8 Peter ad Vincula, following his petition to the king. Fair (Charter) vf+5, Michael (29 Sept); gr 6 Nov 1268, by K Hen III to William de Bello Campo, earl of Warwick. To be held at the manor. On 16 Jul 1413, Richard Beauchamp, earl of Warwick, the king's cousin, stated that the yearly fair held for 3 days at Michaelmas, granted to the bailiffs, burgesses and other commons of Warwick, was of no profit. On that day there were six or seven other fairs in the neighborhood. K Ric II granted Earl Richard and his heirs that the bailiffs, burgesses and other commons could have a fair in the borough on vfm Bartholomew (24 Aug) in lieu. Fair (Charter) vfm+12, Peter and Paul (29 Jun); gr 25 Aug 1290, by K Edw I to William de Bello Campo, earl of Warwick. To be held at the manor. Fair (Grant: Other) 3 day fair on f Simon and Jude (28 Oct); gr 1479. Fair (Grant: Other) 3 day fair on f Philip and James (1 May); gr 1479.

**Sources**

- (1) Descriptive Text: Nelson J. 1952. TBAS vol 68. Volume - 68, Page Ref - 81
- (2) Internet Data: Institute of Historical Research (CMH). 2005. Gazetteer of Markets and Fairs to 1516 (Warwickshire). <http://www.history.ac.uk/cmh/gaz/warws.html>.

**Location**

**National Grid Reference**

Centroid SP 2802 6496 (MBR: 10m by 10m) SP26SE Area

**Administrative Areas**

Civil Parish Warwick, Warwick, Warwickshire

**Address/Historic Names - None recorded**

**Designations, Statutes and Scorings**

**Associated Legal Designations - None recorded**

**Other Statutes and Cross-References**

Sites & Monuments Record - 1967 Active

**Ratings and Scorings**

MPP Processed Yes

**Land Use**

**Associated Historic Landscape Character Records - None recorded**

**Other Land Classes - None recorded**

**Related Monuments**

2153 Site of Medieval Market Hall in Market Place Functional Association

**SMR Number** 1967 - MWA1967      **Site** Site of Warwick Market Cross, Market Place  
*cont'd*

***Finds - None recorded***

***Associated Events/Activities - None recorded***

Market Place.

***Associated Individuals/Organisations - None recorded***

***Dates***

**SMR Number** 1984 - MWA1984 **Site** Site of College of Vicars Choral at St Mary's Church

SMR Number	Site Name	Record Type
1984 - MWA1984	Site of College of Vicars Choral at St Mary's	Monument

Excavations and documentary evidence show that this was the site of the College of Vicars Choral, an area of Medieval buildings, partly like a cathedral precinct in the town. The area lies between the Colegiate Church of St Mary and The Butts, Warwick.

### Monument Types and

COLLEGE (Medieval - 1066 AD to 1539 AD)

### Description and Sources

#### Description

<1> The college of the Vicars Choral and other buildings formed 'an area like a cathedral precinct in the heart of the town'. Little is known about the college before its reconstruction between 1455 and 1464, though in 1336 there was a hall and residential accommodation. The college was extended and the boundary wall reconstructed between 1455 and 1464. The 15th century college was a two storied timber framed building constructed around a quadrangle with passages in the form of a two-storeyed cloister. Only two sides, much altered, remained in c1830. At the entrance to the college gardens was an octagonal building called 'The Tower'. This building was demolished c1780. Warwick School was housed in the college buildings from 1699 to 1879. The building was then sold and demolished.

<2> 1975: Threatened with redevelopment. An excavation confirmed the quadrangular plan of the college with massive stone foundations. The floor layers of the building had been removed during destruction. The building had earlier features (PRN 5533, 5534, 5535, 6061).

<5> Scheduling description.

#### Sources

- (1) Bibliographic reference: Pugh R B (ed). 1969. Victoria County History, vol 8, Warwickshire. Warwickshire. Pages 421-2
- (2) Serial: Crickmore, J (ed). 1975. WMANS no 18 (1975). Mytum, p. 61-2
- (3) Excavation Report: HCM. 1975. WM.
- (4) Bibliographic reference: DoE. AM7.
- (5) Scheduling record: DoE. SAM List.

### Location

#### National Grid Reference

Centroid SP 2827 6502 (MBR: 10m by 10m) SP26NE Area

#### Administrative Areas

Civil Parish Warwick, Warwick, Warwickshire

#### Address/Historic Names - None recorded

### Designations, Statuses and Scorings

#### Associated Legal Designations

Scheduled Monument - 178 DWA78	Title not entered	Active
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#### Other Statuses and Cross-References

Sites & Monuments Record - 1984 Conservation Area	Active Active
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### Ratings and Scorings

MPP Processed Yes

### Land Use

#### Associated Historic Landscape Character Records - None recorded

#### Other Land Classes - None recorded

### Related Monuments

**SMR Number** 1984 - MWA1984 **Site** Site of College of Vicars Choral at St Mary's Church  
*cont'd*

1972	Possible Site of Early Medieval/Medieval Mint	Cultural
5533	Excavation of Roman Pit at College of Vicars Choral	Church Cultural
5534	Findspot - Early Medieval coins	Cultural
5535	Excav of Medieval Buildings at St Mary's College	Cultural

**Dates**6061 Findspot - Neolithic flint & a coin Cultural

**Finds - None recorded**

**Associated Events/Activities**

EWA2906 (Part Excavation)

**Associated Individuals/Organisations**

Mytum, Harold - Warwickshire Museum

Study By

**SMR Number** 2153 - MWA2153 **Site** Site of Medieval Market Hall in Market Place

SMR Number	Site Name	Record Type
2153 - MWA2153	Site of Medieval Market Hall in Market Place	Monument

The site of the Medieval market hall is known from documentary evidence. It was sold in 1791 and demolished. It stood in Market Place, Warwick.

**Monument Types and**

FAIR (Medieval - 1066 AD to 1539 AD)  
 MARKET (Medieval - 1066 AD to 1539 AD)  
 MARKET HALL (Medieval - 1066 AD to 1539 AD)

**Description and Sources**

**Description**

<1> In the centre of the High Market, in an area known as the Barley Market, was the Booth Hall or Tolbooth, built by Thomas de Beauchamp (d1369). Stalls in it were rented to traders until 1505 when it became the residence of the manorial bailiff. In 1554 it was given to the newly-created corporation. In 1742 the Booth Hall was taken into the hands of the Sequestration Commissioners. The corporation probably recovered the Hall, but repairs subsequently became costly, and it began seriously to decay. As a result it was sold in 1791 and demolished.

<2> Market (Prescriptive: borough, mint) recorded 1088x1119 when Henry de Beaumont, earl of Warwick, granted a tenth of the toll to one of his priests. Market also recorded in the mid thirteenth century. In 1279, the market days were Wed and Sat. Fair (Charter) vfm+5, Peter ad Vincula (1 Aug); gr 5 Oct 1261, by K Hen III to John de Plessis, earl of Warwick and his successors in the earldom. On 22 Sept 1262, John de Plessis, earl of Warwick granted to his burgesses a fair on 6+f+8 Peter ad Vincula, following his petition to the king. Fair (Charter) vf+5, Michael (29 Sept); gr 6 Nov 1268, by K Hen III to William de Bello Campo, earl of Warwick. To be held at the manor. On 16 Jul 1413, Richard Beauchamp, earl of Warwick, the king's cousin, stated that the yearly fair held for 3 days at Michaelmas, granted to the bailiffs, burgesses and other commons of Warwick, was of no profit. On that day there were six or seven other fairs in the neighborhood. K Ric II granted Earl Richard and his heirs that the bailiffs, burgesses and other commons could have a fair in the borough on vfm Bartholomew (24 Aug) in lieu. Fair (Charter) vfm+12, Peter and Paul (29 Jun); gr 25 Aug 1290, by K Edw I to William de Bello Campo, earl of Warwick. To be held at the manor. Fair (Grant: Other) 3 day fair on f Simon and Jude (28 Oct);

**Sources**

- (1) Bibliographic reference: Pugh R B (ed). 1969. Victoria County History, vol 8, Warwickshire. Warwickshire. Pages 481, col 1, and 506
- (2) Internet Data: Institute of Historical Research (CMH). 2005. Gazetteer of Markets and Fairs to 1516 (Warwickshire). <http://www.history.ac.uk/cmh/gaz/warws.html>.

**Location**

**National Grid Reference**

Centroid SP 2802 6496 (MBR: 10m by 10m) SP26SE Area

**Administrative Areas**

Civil Parish Warwick, Warwick, Warwickshire

**Address/Historic Names - None recorded**

**Designations, Statuses and Scorings**

**Associated Legal Designations - None recorded**

**Other Statuses and Cross-References**

Sites & Monuments Record - 2153 Active

**Ratings and Scorings - None recorded**

**Land Use**

**Associated Historic Landscape Character Records - None recorded**

**Other Land Classes - None recorded**

**Related Monuments**

**SMR Number** 2153 - MWA2153      **Site** Site of Medieval Market Hall in Market Place  
*cont'd*

1967                      Site of Warwick Market Cross, Market Place      Functional Association

***Finds - None recorded***

***Associated Events/Activities - None recorded***

***Dates Associated Individuals/Organisations - None recorded***

gr 1479. Fair (Grant: Other) 3 day fair on f Philip and James (1 May); gr 1479.

**SMR Number** 2181 - MWA2181 **Site** Findspot - Post Medieval pottery object

<b>SMR Number</b>	<b>Site Name</b>	<b>Record Type</b>
2181 - MWA2181	Findspot - Post Medieval pottery object	Find Spot
Findspot - a Post Medieval pottery bird whistle was found in Northgate Street, Warwick		

**Monument Types and**

FINDSPOT (Post-medieval - 1540 AD to 1750 AD)

**Description and Sources**

**Description**

<1> A 17th century pottery bird whistle was found at Northgate Street.

**Sources**

(1) Bibliographic reference: 1978. Post Medieval Archaeology vol 12. Volume - 12, Page Ref - 129

**Location**

**National Grid Reference**

Centroid SP 2810 6500 (MBR: 10m by 10m) SP26NE Point

**Administrative Areas**

Civil Parish Warwick, Warwick, Warwickshire

**Address/Historic Names - None recorded**

**Designations, Statuses and Scorings**

**Associated Legal Designations - None recorded**

**Other Statuses and Cross-References**

Sites & Monuments Record - 2181

Active

**Ratings and Scorings - None recorded**

**Land Use**

**Associated Historic Landscape Character Records - None recorded**

**Other Land Classes - None recorded**

**Related Monuments - None Recorded**

**Associated Finds**

FWA354 WHISTLE (Post-medieval - 1540 AD to 1750 AD)

POTTERY

**Associated Events/Activities**

EWA4551 Casual find of Post Medieval whistle (Stray Find)

**Associated Individuals/Organisations - None recorded**

**SMR Number** 2182 - MWA2182 **Site** Findspot - Post Medieval pot

<b>SMR Number</b>	<b>Site Name</b>	<b>Record Type</b>
2182 - MWA2182	Findspot - Post Medieval pot	Find Spot

Findspot - a Post Medieval jug was found in Barrack Street, Warwick.

**Monument Types and**

FINDSPOT (Post-medieval - 1540 AD to 1750 AD)

**Description and Sources**

**Description**

<1> A six-handled jug was found at Barrack Street.

**Sources**

(1) Record Card: WM. WM. Volume - Accession Card, Page Ref - 2524

**Location**

**National Grid Reference**

Centroid SP 2800 6510 (MBR: 10m by 10m) SP26NE Point

**Administrative Areas**

Civil Parish Warwick, Warwick, Warwickshire

**Address/Historic Names - None recorded**

**Designations, Statuses and Scorings**

**Associated Legal Designations - None recorded**

**Other Statuses and Cross-References**

Sites & Monuments Record - 2182 Active

**Ratings and Scorings - None recorded**

**Land Use**

**Associated Historic Landscape Character Records - None recorded**

**Other Land Classes**

Landuse Throughfare

**Related Monuments - None Recorded**

**Associated Finds**

FWA355 JUG (Post-medieval - 1540 AD to 1750 AD) POTTERY

**Associated Events/Activities**

EWA4552 Casual find of Post Medieval jug (Stray Find)

**Associated Individuals/Organisations - None recorded**

**SMR Number** 2183 - MWA2183 **Site** Findspot - Post Medieval glass object

<b>SMR Number</b>	<b>Site Name</b>	<b>Record Type</b>
2183 - MWA2183	Findspot - Post Medieval glass object	Find Spot
Findspot - a Post Medieval medicine bottle was found in Northgate Street, Warwick.		

**Monument Types and**

FINDSPOT (Post-medieval - 1540 AD to 1750 AD)

**Description and Sources**

**Description**

<1> A medicine bottle from the late 16th century was found in Northgate Street, Warwick.

**Sources**

(1) Record Card: WM. WM. Volume - Accession Card, Page Ref - 2580

**Location**

**National Grid Reference**

Centroid SP 2810 6500 (MBR: 10m by 10m) SP26NE Point

**Administrative Areas**

Civil Parish Warwick, Warwick, Warwickshire

**Address/Historic Names - None recorded**

**Designations, Statuses and Scorings**

**Associated Legal Designations - None recorded**

**Other Statuses and Cross-References**

Sites & Monuments Record - 2183	Active
Conservation Area	Active

**Ratings and Scorings - None recorded**

**Land Use**

**Associated Historic Landscape Character Records - None recorded**

**Other Land Classes**

Landuse Throughfare

**Related Monuments - None Recorded**

**Associated Finds**

FWA356	MEDICINE BOTTLE (Post-medieval - 1540 AD to 1750 AD)	GLASS
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**Associated Events/Activities**

EWA4553 Casual find of Post Medieval medicine bottle (Stray Find)

**Associated Individuals/Organisations - None recorded**

**SMR Number** 2184 - MWA2184 **Site** Finds from Excavations at Shire Hall

<b>SMR Number</b>	<b>Site Name</b>	<b>Record Type</b>
2184 - MWA2184	Finds from Excavations at Shire Hall	Monument
Findspot - during excavations at Shire Hall, Warwick, Post Medieval pottery sherds, a bone domino and other finds were discovered.		

**Monument Types and**

FINDSPOT (Post-medieval - 1540 AD to 1750 AD)

**Description and Sources**

**Description**

<1> 10 sherds of pottery and glass from pit H of the Shire Hall excavations. Also a bone domino.

<?> 14th - 15th century wasters found here in 1956.

**Sources**

(1) Bibliographic reference: Catalogue. Page Ref - 2539-40

**Location**

**National Grid Reference**

Centroid SP 2814 6505 (MBR: 10m by 10m) SP26NE Point

**Administrative Areas**

Civil Parish Warwick, Warwick, Warwickshire

**Address/Historic Names - None recorded**

**Designations, Statuses and Scorings**

**Associated Legal Designations - None recorded**

**Other Statuses and Cross-References**

Sites & Monuments Record - 2184 Active

**Ratings and Scorings - None recorded**

**Land Use**

**Associated Historic Landscape Character Records - None recorded**

**Other Land Classes - None recorded**

**Related Monuments**

1939 Shire Hall, Warwick Cultural

**Associated Finds**

FWA2067	UNASSIGNED (Post-medieval - 1540 AD to 1750 AD)	
FWA2099	UNIDENTIFIED OBJECT (Post-medieval - 1540 AD to 1750 AD)	POTTERY

**Associated Events/Activities**

EWA1099 (Full Excavation)

**Associated Individuals/Organisations - None recorded**

**SMR Number** 2188 - MWA2188 **Site** Excavations at Barrack Street

<b>SMR Number</b>	<b>Site Name</b>	<b>Record Type</b>
2188 - MWA2188	Excavations at Barrack Street	Monument

Evidence of the Medieval northern defences and suburban occupation of Warwick was uncovered during archaeological work. Ditches, wells, cess and rubbish pits and pottery, some decorated, were found on the north

**Monument Types and**

DITCH (Medieval - 1066 AD to 1539 AD)  
 HOUSE (Medieval - 1066 AD to 1539 AD)  
 PIT (Medieval - 1066 AD to 1539 AD)  
 WELL (Medieval - 1066 AD to 1539 AD)

**Description and Sources**

**Description**

<1> Excavations carried out in 1972 between Joyce Pool and Barrack Street, in advance of redevelopment, revealed substantial traces of the northern defences of the town. These included a robber trench on the line of the 14th century town wall; evidence of 13th century dwellings along Barrack Street; and the late 11th century town ditch with a timber palisade. In the pottery recovered, several types have been observed, and examples of specific wares identified. Two finely decorated jugs were found, one of Worcester 'B' Ware and one from the Oxford region. The more general pottery types are those found commonly in the West Midlands from c1100 to c1400.

<2> The distribution of wells, cess and rubbish pits outside the ditch has partially revealed the layout of the

**Sources**

- (1) Bibliographic reference: Klingelhofer E. 1977. TBAS vol 88. Volume - 88, Page Ref - 87-104
- (2) Serial: Rahtz, P (ed). 1972. WMANS no 15 (1972). Klingelhofer, p. 29

**Location**

**National Grid Reference**

Centroid SP 2805 6509 (MBR: 10m by 10m) SP26NE Area

**Administrative Areas**

Civil Parish Warwick, Warwick, Warwickshire

**Address/Historic Names - None recorded**

**Designations, Statuses and Scorings**

**Associated Legal Designations - None recorded**

**Other Statuses and Cross-References**

Sites & Monuments Record - 2188 Active

**Ratings and Scorings - None recorded**

**Land Use**

**Associated Historic Landscape Character Records - None recorded**

**Other Land Classes - None recorded**

**Related Monuments - None Recorded**

**Associated Finds**

FWA2153 UNIDENTIFIED OBJECT (Medieval - 1066 AD to 1539 AD) POTTERY

**Associated Events/Activities**

EWA1100 (Full Excavation)

**Associated Individuals/Organisations - None recorded**

**SMR Number** 2191 - MWA2191 **Site** Possible location of Saxon Defences for Warwick

<b>SMR Number</b>	<b>Site Name</b>	<b>Record Type</b>
2191 - MWA2191	Possible location of Saxon Defences for Warwick	Monument

Documentary and place name evidence suggests that the line of the Early Medieval defences of the Saxon burgh follow the line of the later Medieval walls in Warwick.

### **Monument Types and**

DEFENCE (Defences, Early medieval - 801 AD to 1065 AD)

TOWN DEFENCES (Early medieval - 801 AD to 1065 AD)

### **Description and Sources**

#### **Description**

<1> The Saxon burgh at Warwick was established by Ethelfleda in 914 to defend Mercia against the Danes. The site commanded the river valley and a natural crossing of the Avon, and was strategically well-placed to control the Fosse Way.

<2> It has previously been assumed that the Medieval line followed the Saxon ramparts. However this has not been confirmed by archaeological investigation. At Barrack Street (WA 2188) the earliest evidence is late 11th - 12th century, and the evidence from Market Street is unconvincing for Saxon material (WA 1988). The defences must have enclosed the area of the Castle to the south, since the Norman work involved demolishing 4 existing houses, and included the Saxon minster in its precincts. E.Klingelhofer suggests that a line, based on street patterns, might have run along Brook Street, The Butts, and the now buried Back Hills.

<3> Observations during the laying of a new water main in Market Place, Market Street and Bowling Green Street (WA 8216) failed to locate any evidence of the suggested Saxon defences at the corner of Brook Street and Market Place, though this was not regarded by the observers as conclusive.

#### **Sources**

- (1) Bibliographic reference: Pugh R B (ed). 1969. Victoria County History, vol 8, Warwickshire. Warwickshire. Page 418 column 2
- (2) Bibliographic reference: 1975. Midland History. Volume - Vol III, Page Ref - 1-4
- (3) Observation Report: Palmer, S. 1997. Arch Obs of Warwick Town Water Main Renewal.

### **Location**

#### **National Grid Reference**

Centroid SP 4641 6479 (MBR: 36240m by 550m) SP46SE Dispersed

#### **Administrative Areas**

Civil Parish Warwick, Warwick, Warwickshire

#### **Address/Historic Names - None recorded**

### **Designations, Statuses and Scorings**

#### **Associated Legal Designations - None recorded**

#### **Other Statuses and Cross-References**

Sites & Monuments Record - 2191 Active

#### **Ratings and Scorings - None recorded**

### **Land Use**

#### **Associated Historic Landscape Character Records - None recorded**

#### **Other Land Classes - None recorded**

### **Related Monuments**

6956	Warwick Castle Park	Cultural
7266	WB at Warwick Castle Garden Centre	Cultural
8216	Arch Obs, Warwick town water main renewal	Cultural

#### **Finds - None recorded**

**SMR Number** 2191 - MWA2191      **Site** Possible location of Saxon Defences for Warwick  
*cont'd*

***Associated Events/Activities - None recorded***

***Associated Individuals/Organisations - None recorded***

***Dates***

**SMR Number** 5518 - MWA5518 **Site** C18 Gaol, Northgate Street, Warwick

SMR Number	Site Name	Record Type
5518 - MWA5518	C18 Gaol, Northgate Street, Warwick	Building

The 18th century County Gaol, in use during the Imperial period, and abandoned in favour of another site in 1860. It is now part of the County Council buildings in Northgate Street, Warwick.

**Monument Types and**

BUILDING (Imperial - 1751 AD to 1913 AD)  
 PRISON (Imperial - 1751 AD to 1913 AD)

**Description and Sources**

**Description**

<1> The gaol (PRN 1938) was much enlarged by Thomas Johnson between 1779 and 1783. The facade is considered 'remarkable as one of the earliest attempts to adapt Greek Doric to the purpose of an English public building'. A new house of correction was built by Henry Couchman between 1784 and 1787. Further work was done on the gaol in 1796-8, and constant repairs were needed after 1798. The buildings were abandoned in 1860 in favour of a new prison at the Cape. The three arches which lead through the centre of the range were inserted in 1862. The Northgate Street front was adapted as part of new buildings for the County Council in 1930-2.

**Sources**

- (1) Bibliographic reference: Pugh R B (ed). 1969. Victoria County History, vol 8, Warwickshire. Warwickshire. Page 450 column 2
- (2) Bibliographic reference: Pevsner N and Wedgwood A. 1966. The Buildings of England: Warwickshire. Page 458

**Location**

**National Grid Reference**

Centroid SP 2814 6504 (MBR: 10m by 10m) SP26NE Point

**Administrative Areas**

Civil Parish Warwick, Warwick, Warwickshire

**Address/Historic Names**

Old\_Prn - 1938

**Designations, Statuses and Scorings**

**Associated Legal Designations - None recorded**

**Other Statuses and Cross-References**

Sites & Monuments Record - 5518	Active
Conservation Area	Active

**Ratings and Scorings - None recorded**

**Land Use**

**Associated Historic Landscape Character Records - None recorded**

**Other Land Classes**

Landuse	Built over
Landuse	In use as building

**Related Monuments**

1938	Site of Post Medieval Gaol, Northgate Street	Cultural
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**Finds - None recorded**

**Associated Events/Activities - None recorded**

**SMR Number** 5518 - MWA5518      **Site** C18 Gaol, Northgate Street, Warwick  
*cont'd*

***Associated Individuals/Organisations - None recorded***

***Dates***

<2> Description.

**SMR Number** 9176 - MWA9176 **Site** Warwickshire County Emergency Centre, Shire Hall,  
Barrack Street, Warwick

<b>SMR Number</b>	<b>Site Name</b>	<b>Record Type</b>
9176 - MWA9176	Warwickshire County Emergency Centre, Shire Hall, Barrack Street, Warwick	Building

The Emergency Planning Centre for the county. It is located in Shire Hall, Warwick

### **Monument Types and**

EMERGENCY PLANNING CENTRE (Modern - 1966 AD to 2050 AD)

### **Description and Sources**

#### **Description**

<1> Warwickshire County Emergency Centre located at Shire Hall, Warwick. Moved there in 1966 when Shire Hall was built. Formerly the civil defence control centre was beneath the Butts Museum, where it had been

#### **Sources**

- (1) Unpublished document: Keith Ward/Nick Catford. 2001. Subterranea Britannica: Research Study  
Group: Sites. SB RSG: 1

### **Location**

#### **National Grid Reference**

SP 28076 65003 (point) SP26NE Point

#### **Administrative Areas**

Civil Parish Warwick, Warwick, Warwickshire

#### **Address/Historic Names**

Shire Hall, Barrack Street, Warwick

### **Designations, Statuses and Scorings**

**Associated Legal Designations - None recorded**

#### **Other Statuses and Cross-References**

Sites & Monuments Record - 9176 Active

**Ratings and Scorings - None recorded**

### **Land Use**

**Associated Historic Landscape Character Records - None recorded**

**Other Land Classes - None recorded**

**Related Monuments - None Recorded**

**Finds - None recorded**

**Associated Events/Activities - None recorded**

**Associated Individuals/Organisations - None recorded**

## Appendix B: Summary property histories

The following summary for Area A for each property is based on information provided by Stephen Wallsgrove for the period 1400-1800 derived from rentals, surveys, lists and other documents, ending with the first detailed maps of the town of 1786/1788. This has been supplemented by a rapid survey of the WCC Deed collections. Further information on the 19th and 20th century inhabitants of the properties has been collected from directories by Danielle Wootton.

Those for Areas B-D are based on information researched by Mark Booth, which also referred to Wallsgrove's work, in some instance supplemented by additional information obtained direct from Wallsgrove. In both cases these are referenced thus: (SGW).

### **Area A, Main Shire Hall complex** (Fig 5)

*Barrack Street (formerly Walditch and Bridewell Lane), south-east side*

#### **2-6 Barrack Street** (WCC Deeds 538) (with 10 Market Place from 1789)

1482 messuage, Guild (occ. Margaret Hurlebutte) paying 16d chief rent to Earl of Warwick.  
 1545 tenement of Guild, Richard Tuscote paying 8s rent.  
 1576 burgage/tenement, Richard Tuscote now Edward Bromefield paying 16d chief rent (late Guild).  
 1582, 1586 Edward Bromefield.  
 1590 John Hill.  
 1590 Guild property to Sir Thomas Puckering.  
 1618 lease to John Lea, shoemaker.  
 1634 3 messuages built following setting up of Puckerings Charity  
 April 1633 Middle tenement leased to Thomas Greene, taylor.  
 1698-c.1775 3 Almshouses of Sir T. Puckering.  
 1788 map (no 309): Puckering's Charity.  
 October 1789 Deed of exchange for 2-6 Bridewell Lane between Trustees of Sir Thomas Puckering's Charity and William Parkes (of 10 Market Place)  
 1806 map (no 201), 5 houses, Puckerings Charity [sic], occ Claridge and others  
 1936 No 2, Pitts, Mrs (Kelly 1936)  
 1936 No 4, Smith, Mrs Ann (Kelly 1936)  
 1936 No 6, Calcutt, Joseph, George (Kelly 1936)  
 March 1936 purchased with 10 Market Place by WCC from TH Timms for £1150  
 1936 Demolition order

#### **8-12 Barrack Street**

1482 messuage, John Hill paying 1/2d chief rent to Earl of Warwick.  
 1576 burgage/tenement, free tenant Thomas Walford, tenant lately Roger Weale, now William Vornam.  
 1582 William Vernon.  
 1586 John Walforde.  
 1590 tenement, free tenant William Wall, tenant John Walford  
 1619 tenement, buildings, garden, yard (1 rood), William Wall.  
 1641 messuage, Thomas Wall.  
 1694 Edward Wall: £12 of loss in fire.  
 1698-1704 Edward Wall.  
 1706 Edward Wall: 10 windows paying tax.  
 1707-1711 Edward Wall.

1724 Mrs Hopper + Mr Wall.  
 1732-1744 Ann Grimshaw + E. Wall.  
 1755 Gunn + W. Wheatley.  
 c.1775 W. Thompson + J. Wheatley.  
 1788 map: (no 310) Mr Wilson + (no 311) Mr Smith.  
 1806 map (no 200): 2 houses, Mrs Dawes, occ Mrs Humphris, Jennings

### **8, 10 Barrack Street** (WCC Deeds 568)

May 1750 Will of Edward Wall, messuage left to Sara Bennett (Whateley)  
 April 1783 John Whateley, baker to Francis Holmes, grocer, 2 houses in Wallditch  
 January 1785 Francis Holmes, bankrupt  
 June 1786 Assigned to Francis Dawes  
 November 1802 Will of Francis Dawes  
 July 1811 Release by Mrs Dawes et al to Mrs Humphriss, 3 houses  
 December 1826 Trustees of will of Mrs Ena Humphriss to William Horne, premises in Bridewell Lane  
 January 1827 Mortgage by William Horne to Robert Brain  
 1844 Mr Horne (WRO QS 24/584/1/2)  
 c.1848 William Horne (WRO QS 24/579 Unnumbered plan)  
 July 1850 Assignment of mortgage by Robert Brain to John Ledbrooke  
 December 1857 John Ledbrooke to Ambrose Richards, 2 messuages in Bridewell Lane  
 June 1871 William Fairbrother et al to J Schofield, 2 messuages and premises  
 1880 Joseph Schofield  
 1872 No 8, Page, George Frederick Shoemaker (Kelly 1872)  
 September 1880 E Faulkner and Miss F Schofield to Thomas Bone et al  
 1884 No 8, Pope, Joshua Tripe Dresser (Kelly 1884)  
 1921 No 8, Mills, Charles Carpenter & Joiner (Kelly 1921)  
 1930 HTS Green et al  
 1936 No 8, Hetherington, Rd William (Kelly 1936)  
 1936 No 10, Vickers, Mrs (Kelly 1936)  
 May 1936 purchased by WCC from G J Dean for £825, occ by Mrs Alice Vickers and Thomas Edward Harris

### **12 Barrack Street** (WCC Deeds 3)

c.1787 Late Fell's garden or yard (WRO QS 24/579, no. 4)  
 February 1842 Sara Taylor et al to Richard Lapworth  
 c.1848 Thomas Hawkes' children  
 June 1863 Richard Lapworth to William Horne  
 1865 Will of William Horne to JW Horne, son  
 1872-76 Webb, Louisa (Miss) Hay & Corn dealer (Kelly 1872; 1876)  
 1876 Webb, Joseph Coal Agent (Kelly 1876)  
 1884-1904 Fullwood, Charles George Builder (Kelly 1884; 1904)  
 May 1886 Amelia Hopkins and JW Horne to John Parkes, formerly 2 messuages 14ft frontage and stable and yard 23ft.  
 December 1912 WL Coltart, grandson of J Parkes  
 September 1930 purchased by WCC from WL and Miss LM Coltart for £295  
 1936 Russell, John (Kelly 1936)

### **12a Barrack Street** (WCC Deeds 569) (with No 12 until 1930)

1482 cottage of Prior of St Sepulchre.  
 c.1535 cottage, Porter paying 6s rent to Priory.  
 1586 Emme Harrys.  
 1694 John Hadley: 2 bays of housing in possession of Samuel Dunckley lost in fire.

1727 ground unbuilt.  
 1755 Mr Wright (occ. J. Fell).  
 c.1775 late Fells children (occ. T. Summerfield).  
 1788 map (no 312): Mr Sommerfield.  
 1804 H. Couchman (Dockers ground unbuilt): common rights redeemable if house rebuilt.  
 1806 map (no 199): Yard, Mrs Humphris (occ. County).  
 1824 Eliz. Humphriss (County of Warwick: no house).  
 1842 Chaplins devisees (warehouse of R. + W. Redfern).  
 May 1886 Amelia Hopkins and JW Horne to John Parkes  
 December 1912 WL Coltart, grandson of J Parkes  
 August 1930 Trustees of will of J Parkes to Mrs K Taplin  
 March 1936 purchased by WCC from Mrs K Taplin for £375  
 1936 Taplin, Samuel (Kelly 1936)

#### **14 Barrack Street** (WCC Deeds 110) (with No 6 Market Place from 1858)

1694 2 houses of Abigail Ryder lost in fire, goods of William Hadley, shoemaker lost. 1698 Rebecca Ryder (late Rogers).  
 1706 Widow Smith's ground (WRO CR 1157/1)  
 1745/6 Ric. Adey.  
 1755 J. Allard (occ. R. Adey).  
 1772 Benj. Bradley.  
 c.1775 T. Hawkes (occ. B. Bradley).  
 c.1787 Mr Wakefield (house on frontage), Mr Hawkes (gateway, yard to rear, old malthouse, barn or chandlery) (WRO QS 24/579, no. 4)  
 1788 map (no 313): Unknown  
 1804 W. Oram (occ. R. Lapworth).  
 1806 map (no 198): 1 house etc, Richard Lapworth, occ R Lapworth  
 1844 Mr Loveday (frontage) and Mr Rowney to rear  
 c.1848 James Loveday (frontage) and Harriet Oram (to rear)  
 May 1858 Edward Greaves et al to John Rowney (of 6 Market Place), hereditaments in Bridewell Lane, occ Richard Elders, Ben Bradley and Joan Cooper, Richard Lapworth and Joan Redfern, now untenanted  
 1896 Waring, Edward Charles Pratt Music Teacher (Kelly 1896)  
 July 1932 purchased by WCC with 6 Market Place from G Purcell for total of £2800

#### **Plot A**

1574-1624 2 houses/cottages, 2 gardens, backsides of Oken's Charity (various occupiers).  
 1581 tenant to "edify" house, little house of Evettes in decay, piece of garden taken away by Denley's wife.  
 1694 The Peacock: 8 bays, 1 bay barn held by Matthew Busby lost in fire.  
 1698 ground set out.  
 1706 lease to Timothy Simpkins, innholder (Plan at WRO CR1157/1, with dimensions): to rebuild (to given dimensions).  
 1755 J. Allard (late 1 house, now 2 tenements).  
 c.1775 T. Hawkes (occ. J. Jeffries, widow Birch) "now in the gaol".  
 1788 map (no 314), Oaken's Charity  
 1792 2 messuages/tenements, malthouse, garden sold by Oken's Charity and lessee to Justices of County Court (abuttals given).  
 1804 County Gaol.  
 1806 map (no 197): The Goal

**Plot B**

1582, 1586 Richard Abell.  
 1676 barn, garden (dimensions given in SBT DR37/2788) was purchased from Mathew and Charles Holbech, now conveyed by Robert Chernock to Earl of Northampton, et al. to be used as part of gaol, workhouse, house of correction. October 1676 Sale by Mr Chernock of land to rear of Shire Hall (WCC Deeds 345)  
 1698 The Bridewell House.  
 1755 Bridewell (house + ground).  
 c.1775 “now in the gaol”.  
 1788 map (no 315) Bridewell.  
 1806 map (no 197): The Goal

**Plots C-F**

1560 tenement, heirs of William Sutton.  
 1561 3 messuages, buildings, orchards, backsides, easements (abuttals given in SBT DR37/2758) sold by Edward Charde, gent. to Thomas Fisher of Warwick, esq.  
 1576 little burgage, garden of Edward Fisher (tenant: William Smith).  
 1582, 1586 William Smyth, 4 occupiers listed.  
 1655 4 houses, gardens/orchards sold by Jonathan Edmonds to William Smith.  
 1676 4 messuages, used as 3 tenements, granted by William Smith to Fulk Grevile and Sir John Knightley for £60 (paid by mayor, aldermen, burgesses of Warwick).  
 1788 map (no 315) Bridewell.  
 1806 map (no 197): The Goal

**Militia Barracks, Barrack Street**

1863 Warwick Militia Stores Depot Thomas Bannister, Quartermaster (Kelly 1863)  
 1876 Warwick Militia Stores Depot Edward Bannister, Quatermaster (Kelly 1876)  
 1896 The Barracks Thorne, Thomas Sgt-Mjr 3rd Battalion RWR (Kelly 1896)  
 1896 The Barracks Payton, Joseph Sgt-Mjr 4th Battalion RWR (Kelly 1896)  
 1904 The Barracks Stevens, Henry Sgt-Mjr 5th Battalion RWR (Kelly 1904)  
 1904 The Barracks Parker, William Sgt-Mjr 6th Battalion RWR (Kelly 1904)

**Market Place****2 Market Place (WCC Deeds 536)**

1582, 1586 Edmund Yardley.  
 1619 tenement, stable (1 rood) of William White (paying 4d chief rent to Earl of Warwick).  
 1641 tenement, William Dickens.  
 1694 Charles Emes, feltmaker (house burnt), John Hickes, smith (house partly consumed by fire, other part pulled down to stop fire).  
 1698-1702 Charles Emes.  
 1707 “burnt and laid into street”, John Overton, formerly Charles Emes.  
 1755 Mr Harris (occ. R. Edgerton).  
 c.1775 J. Bird (occ. Has. Bird).  
 1788 map (no 304): Mrs Bird (with no 4).  
 December 1793 Release by Thomas Bird to SS Baxter and John Bird of Warwick  
 1806 map (no 206), 1 house, Mrs Bird, occ Price Pritchard (with no 4)  
 April 1808 Thomas Bird to John Bird  
 1812 Probate of will of John Bird dated September 1808  
 1817 Mortgage by J Bird to Elizabeth Worthington

September 1837 Joseph Russell the younger to Henry Baly (heretofore occ. John Bradford, apothecary, afterwards Joseph Bird, John Bird and H Baly)  
 1844 Mr Baly (WRO QS 24/584/1/2)  
 1863 Baly, Henry & Son Chemists and Druggists (Kelly 1863)  
 July 1871 H Baly to H Pratt  
 1872 Baly & Pratt Pharmaceutical Chemists and Druggists (Kelly 1872)  
 1876 Pratt, Henry Chemist & Druggist (Kelly 1876)  
 1884 Pratt, Henry Pharmaceutical Chemist (Kelly 1884)  
 1896 Pratt, Charles, P Pharmaceutical Chemist (Kelly 1896)  
 June 1903 H Pratt to CP Pratt  
 1912-1936 Pratt, Charles, P Chemist (Kelly 1912; 1921; 1932; 1936)  
 May 1936 purchased by WCC from C P Pratt for £3350

#### 4 Market Place (WCC Deeds 566)

1576 new stakes before tenement of William Frekenton.  
 1582 William Frekulton.  
 1586 Mr John Dafferne.  
 1619 tenement, stable, yard (10 perches): William Johnsone paying 1 ½d chief rent to Earl of Warwick.  
 1641 house, William Johnson.  
 1694 house of Mrs Man, widow (tenant: John King, tugarer): most burnt, part of front pulled down to stop fire - shop and room with no roof rented out, chimney and upper floors fell down.  
 1695/6 toft sold to John Woods, to rebuild.  
 1698-1755 John Langton.  
 March 1713 John Wood of Packwood to Samuel Foot of Rowington  
 1740 Will of Dorothy Langton (daughter of John Wood) to son, John Langton  
 1758 Mrs Langton et al to Mrs Taylor  
 1761 Richard Taylor (Thomas Bird's marriage settlement)  
 1772 Mr Thomas Bird.  
 c.1775 J. Bird (occ. Jos. Bird).  
 February 1785 Lease by Eliz Bird to Thomas Bennett, 7 years, messuage or tenement in Women's Market, formerly 2 messuages or tenements, late occ Thomas Bird, decd.  
 c.1787 Mrs Bennett (WRO QS 24/579, no. 4)  
 1788 map Mrs Bird (with No. 2).  
 1806 map (no 206), 1 house, Mrs Bird, occ Price Pritchard (with no 2)  
 September 1840 Lease by Thomas Bird to George Judd  
 1844 Mr Judd (WRO QS 24/584/1/2)  
 May 1845 Release by Thomas Bird to B R Hall  
 c.1848 ?Robert Hall (WRO QS 24/579 Unnumbered plan)  
 June 1882 Lease by Reuben Green to John Spelt  
 1884 Spelt, John Postmaster (Kelly 1884)  
 1896 Frame, Lucy Draper (Kelly 1896)  
 1904 Frame, Lucy Fancy Draper (Kelly 1904)  
 September 1911 Late Reuben Green to Charles Pratt  
 1912 Frame, Lucy Art Needlework Repository (Kelly 1912)  
 1921 Frame, Lucy (Mrs) Fancy Draper (Kelly 1921)  
 October 1927 Charles Pratt, Chemist to FC, AL & EB Hatton and Co  
 1932 Hatton, J & Co. Outfitters & Drapers (Kelly 1932)  
 1936 Hatton, J & Co Fancy Needlework (Kelly 1936)  
 October 1936 purchased by WCC from E Hatton, Draper and trustee for £1750

#### 6 Market Place (WCC Deeds 110) (with 14 Barrack Street from 1858, but joint occupancy possibly from much earlier, see 1711 Map of Warwick)

1586 Richard Saunders.

1619 half messuage, stable, yard (10 perches), Robert Kempe paying 6d chief rent to Earl of Warwick.  
 1641 messuage, Raph Addams.  
 1694 house called White Horse, stabling, backbuilding of Elizabeth Martin, widow (let to Timothy Simpkins) lost in fire.  
 1698-1711 Timothy Simpkins.  
 1724 house, malthouse of Mr Simpkins.  
 1732 Mary Simpkins, widow.  
 1742-1755 house, John Allard.  
 1772 Mr Hawkes.  
 c.1775 Mr Wakefield (occ. T. Hawkes).  
 1788 map (no 305) Mr Wakefield.  
 1806 map (no 205): 1 house, William Oram (occ W Oram)  
 1844 Mr Rowney (WRO QS 24/584/1/2)  
 c.1848 ?Harriet Oram (Robert Hall prob. No 4) (WRO QS 24/579 Unnumbered plan)  
 April 1852 Francis Russell et al to John Rowney, butcher's shop and yard on Market Place, occ W Oram, now John Rowney  
 May 1858 Edward Greaves et al to John Rowney, hereditaments in Bridewell Lane, occ Richard Elders, Ben Bradley and Joan Cooper, Richard Lapworth and Joan Redfern, now untenanted  
 March 1869 Messrs Green to H Elvins, (6 and 14), butcher's shop, occ W M Oram, John Rowney, Hannah Rowney, now J Fletcher Talbot  
 1872 Talbot, John Fletcher Butcher (Kelly 1872)  
 1876 Talbot, Fletcher Butcher (Kelly 1876)  
 1884-1912 Hine, Frederick Butcher (Kelly 1884; 1896; 1904; 1912)  
 June 1892 H Elvin deceased to F Hine (6 and 14)  
 December 1921 F Hine to F Knight  
 1932 Knight, Frank Edward Butcher (Kelly 1932)  
 July 1932 F Knight to G Purcell, (6 and 14) Butcher's shop, occ F Hines, Phipps, vendors, with cottage to rear, occ H Tallis  
 1936 Purcell, George Butcher (Kelly 1936)  
 July 1932 purchased by WCC with 14 Barrack Street from G Purcell for £2800

### **8 Market Place (WCC Deeds 570)**

1582, 1586 William Jenkes.  
 1595 late occ. William Jenkes, rent granted by Thomas Powell, gent to trustees for Sir John Puckeringe, knight.  
 1641 half messuage (10 perches), Nicholas Wilkins.  
 1698 Thomas Lea of Pye Corner.  
 1700-1711 Thomas Ley/Lea.  
 1720 messuage/ tenement called Pye Corner, of John Blick, baker + Job Birt.  
 1724-1732 Job Birt.  
 1738 to Richard Wright, gent.  
 1740 lease to Robert Coles, innkeeper.  
 1745/6-c.1775, John Garland.  
 1788 map (no 306) Mr Garland.  
 1806 map (no 204) 1 house, Mrs Dawes, occ Burnett and Dawes  
 October 1820 Will of Ann Davis to John Edwards, HW Lamb, AM Smith  
 1844 Mr Smith (WRO QS 24/584/1/2)  
 c.1848 Richard Freeman's children (WRO QS 24/579 Unnumbered plan)  
 1851 Wentworth House (Board of Health Plan)  
 June 1888 Hamilton to Bradshaw  
 January 1897 Simon Bradshaw, china and earthenware dealer to JM and WW Walker, £750  
 1896-1904 Walker, JW & WW General Stores (Kelly 1896; 1904)  
 1912 Walker, JW & WW Grocers (Kelly 1912)

April 1914 JM and WW Walker to Walker and Co Stores, £48,259, No 8 Market Place, Corner House/Wentworth House, late in occ of J Moore and then vendors  
 1921 Walker & Co. Stores Ltd Grocers (Kelly 1921)  
 1932 Walker & Co. Stores Grocers (Kelly 1932)  
 1936 World's Stores Ltd Grocers (Kelly 1936)  
 1936 Clarke, Stanley (Kelly 1936)  
 1937 Compulsory Purchase enquiry  
 August 1937 purchased by WCC from World's Stores Ltd for £5500  
 1939 Air Raid Precautions (Kelly 1939)

### **10 Market Place (WCC Deeds 538) (with 2-6 Barrack Street from 1789)**

1582, 1586 Robert Mase/Mace.  
 1694 house: sign of the Bull, of Thomas Spencer (occ. Francis Williams), consumed by fire.  
 1695/6 to be rebuilt.  
 1698 The Bull, Thomas Spencer.  
 1700-1704 Thomas Spencer.  
 1706 Edward Paine, 10 windows.  
 September 1709 Marriage settlement of Job Lea and Miss Bryan Townsend, property including messuage or tenement in Market Place known by the name of the Bull Inn.  
 October 1732 Lease for year to Francis Dutton, by Mrs Lea and Mr Lea.  
 December 1732 Mr & Mrs Townsend Lea to Robert Coles, tenement on which formerly stood...Bull Inn, heretofore in possession of Job Lea, decd, late in possession of Henry Donor Simon, draper.  
 1737-1746 new erected messuage/tenement on site of old messuage/tenement called Bull Inn, lease by Richard Wright, gent to Robert Coles, innkeeper.  
 April 1750 Will of Robert Coles to son John Coles and daughter Mary Coles  
 August 1750 Messrs Wright and Coles to John Parkes, draper, stone messuage  
 1755, c.1775 J. Parks.  
 August 1782 Will of J Parkes  
 1788 map (no 307) Mr Parkes.  
 October 1789 Deed of exchange for 2-6 Bridewell Lane between Trustees of Sir Thomas Puckering's Charity and William Parkes  
 June 1795 William and Ann Parkes to John Edwards, messuage and premises  
 1806 map (no 203) 1 house, John Edwards, occ Edward Hughes  
 Feb 1814 John Edwards to Messrs Jones, Ingle and Freeman  
 December 1848 John King to Thomas Jones, Messuage/tenement and draper's shop and 6 warehouses/workshops on Bridewell Lane now converted to tenements; formerly occ William Parkes, John Parkes, John Edwards and Edward Hughes, Thomas Jones, now John Palmer  
 c.1848 Thomas Jones (WRO QS 24/579 Unnumbered plan)  
 January 1849 Thomas Jones to John Palmer, messuage, mercer's shop and 6 cottages in Market Place and Bridewell Lane.  
 1863 Palmer, John Linen & Woollen Draper (Kelly 1863)  
 1872 Palmer, John Linen Draper (Kelly 1872)  
 December 1876 John Palmer to Thomas Timms, Draper, Messuage and shop, and 3 cottages  
 1876-1884 Timms, Thomas Linen Draper (Kelly 1876; 1884)  
 1904-1912 Timms, Thomas Coal Factor & Commission Agent (Kelly 1904; 1912)  
 1930 Will of Thomas Timms to TH Timms  
 1932 Hawkins, Jane (Mrs), Refreshment Rooms (Kelly 1932)  
 March 1936 purchased by WCC (with 2, 4, 6 Barrack Street) from TH Timms for £1150  
 1936 Hawkins, Mrs Jane, Café (Kelly 1936)  
 1948 Warwickshire Museum The Abbotsford Building (Kelly 1948)

**12 Market Place** (WCC Deeds 561)

1545 tenement of Guild, Henry Bleke paying 16s rent.  
 1584 messuage/tenement, shops, barns, gardens, buildings (etc.) Lease to William Martlyn.  
 1690 sold to John Puckeringe.  
 1697 occ. William Martlyn for 16s + 1 hen at Christmas.  
 1612 messuage/burgage/tenement, barns, etc., lease to Anne Owen.  
 1698 Robert Parsons.  
 1735 messuage/tenement of George Weale (occ. Tobias Edwards).  
 1739 new messuage/tenement, warehouse, stabling (built in place of 2 messuages/tenements) beside lane/passage to the new bridge, of George Weale.  
 1742, 1745/6 house, warehouse of Tobias Edwards.  
 1755 George Weale (occ. Tobias Edwards).  
 1772 Mr Fulk Weale.  
 c.1775 Fulk Weale (occ. W. Birch).  
 1788 map (no 308): Mr Fulke Weale.  
 1806 map (no 202) 1 house, John Farman, occ J Farman  
 c.1848 ? Ward  
 1887 Abstract of title E T Taylor  
 November 1921 Taylors to W Wawen, £300  
 October 1922 W Wawen to Tom Woodhouse, £250  
 November 1922 Tom Woodhouse to Meadow Dairies  
 1932-36 Pearks Dairies Ltd, Grocers (Kelly 1932; 1936)  
 April 1937 purchased by WCC from Meadow Dairy for £2000

*Northgate Street (previously Sheep Street, Great Street, North Street), west side*

**Nos. 1 & 3** (with most of 2 Old Square and parts of 4-10 Old Square) formed part of the end property in Canon Row, with Pebble Lane, that area being replanned after the great fire of 1694. Canon Row formed part of Church Street

1490/1 tenement held by St Mary's Church, Oliver Alwode paying 23s 4d pa.  
 1507/8 occupied by James Conyngham at 20s.  
 1540-1559 occ. Richard Oughton.  
 1574-1694 Oken's Charity (various tenants until burnt down 1694).

**1 Northgate Street** (WCC Deeds 563)

1698 held by John Pinley.  
 1702 Mr Ingram.  
 1704 J. Carter.  
 1724, 1725 Mrs Southam.  
 1755, 1772 Mrs Rutland.  
 c.1775 Littleland esq.  
 1788 map (no 322) Oken's Charity.  
 1806 map (no 191) House and yard, Oaken's Charity, occ William Chamberlain  
 1863 Osborn, William Ironmonger (Kelly 1863)  
 1872-6 Lively, Reuben Lodging House (Kelly 1872; 1876)  
 1879 Sale catalogue, Properties of Oken's Charity, Lot 4 with no 3 (WRO CR 1618/WA17/112 with plan). Small family residence, occ Reuben Lively (2 small sitting rooms, 4 chambers, 2 attics, kitchen, 2 common rights. Bought by H Shepherd, boot & shoemaker, for total of £630  
 September 1879 Henry Shepherd to William Kendrick, writing clerk  
 February 1893 William Kendrick to Henry Cragg  
 1896 Cragg, Lt. Henry Quartermaster 3rd Battalion RWR (Kelly 1896)

December 1897 Henry Cragg to ME Woolison  
 January 1898 Lease by M Woolison to Catherine Thompson, 5 years, £26 pa  
 1904 Jones, Mary Apartments (Kelly 1904)  
 September 1905 Lease by M Woolison to James Jones  
 1912 Lacey, Mrs (Kelly 1912)  
 1921 Lacey, Fred, Mrs (Kelly 1921)  
 September 1932 Exec of Mary Woolison to Harriet Brown  
 1936 Brown, Miss, H Apartments (Kelly 1936)  
 August 1937 purchased by WCC for £700 from Miss H Brown who remained as tenant  
 1940 Air Raid Precautions Lt. Col. G.S.W. Rusbridge, Officer (Kelly 1940)

### 3 Northgate Street (WCC Deeds 564)

1698 R. Williams.  
 1702, 1704 Mr Mitchenor.  
 1724 Mr Tracy.  
 1725 Mr Perry.  
 1727 "new house".  
 1755 held by Jos. Wilson (occ. J.Whitehead).  
 1772 Mrs Whitehead void.  
 c.1775 Mr Mills.  
 1788 map (no 323) Oken's Charity.  
 1806 map (no 191) House and yard, Oaken's Charity, occ William Chamberlain  
 1872 Steel, Charlotte (Miss) Lodging House (Kelly 1872)  
 1879 Sale catalogue, Properties of Oken's Charity, Lot 4 with no 1 (WRO CR1618/WA17/112 with plan). Small family residence, occ Mrs Amelia Kendrick (2 small sitting rooms, 4 chambers, 2 attics, kitchen, 2 common rights. Bought by H Shepherd, boot & shoemaker, for total of £630  
 September 1879 H Shepherd to W Shepherd  
 1884 Shepherd, Walter Accountant (Kelly 1884)  
 September 1890 W Shepherd to JC Purser  
 1896 Purser, John Charles (Kelly 1896)  
 1912-21 Pearson, Elizabeth Dressmaker (Kelly 1912;1921)  
 June 1919 JC Purser to WJ Power  
 April 1933 WJ Power decd to Miss Dorothy Ravenhall  
 1932 Pearson, Lila (Mrs) Corsetiere (Kelly 1932)  
 1936 Hawthorn, Miss, A.E (Kelly 1936)  
 June 1937 purchased by WCC from Miss DM Ravenhall for £900  
 1940 Warwickshire Agricultural Committee Cox, Albert Edward, Secretary (Kelly 1940)  
 1940 Milne, J Redhead (Kelly 1940)  
 1942 Warwickshire Agricultural Committee Cox, Albert Edward, Secretary (Kelly 1942)  
 1942 Warwickshire County Council Smallholdings Department Cox, Albert Edward, Secretary (Kelly 1942)  
 1948 Warwickshire Agricultural Committee Cox, Albert Edward, Secretary (Kelly 1948)  
 1948 Warwickshire County Council Smallholdings Department Cox, Albert Edward, Secretary (Kelly 1948)  
 May 1963 purchase of land to rear of 2 Old Square and no 3 (72 sq yds, then dental workshop) by WCC from Mrs B Cohen (WCC Deeds 565)

### 5 Northgate Street (WCC Deeds 565)

1424 St Mary's Church, Roger Smyth paying 4d chief rent.  
 1469 tenement John Brome to son, Thomas (occ. John Shenston).

c.1471 St Mary's (held by John Brome).  
 1490/1 St Mary's (Nicholas Brome).  
 1497 tenement: N. Brome in marriage settlement to Edward Ferrers (occ. Richard Tussingham).  
 c.1540 St Mary's (Sir Edward Ferrers, knt.).  
 1547 late St Mary's (Lady Constance Ferrers, widow).  
 1575 burgage: 4d chief rent now to Earl of Warwick by heirs of Edward Ferrers (tenant: John Greene, carpenter).  
 1619 tenement, stable and backside (1 rood) of Margerie Smithe.  
 1641 George Radford.  
 1694 Thomas Arps: ground where Black Raven stood sold to William Holmes, brickmaker 1696.  
 1697 Job Rainsford paid grant for rebuilding.  
 1702, 1704, 1707 William Rawbone.  
 1724, 1725 Mrs Worcester.  
 1755 Mary Rainford (occ. C. Wairing).  
 c.1775 F. Hirons (occ. Mr Williams).  
 1788 map (no 321) Mr Hiorn.  
 January 1790 Probate of will of F Hiorns, then occ by Widow Williams  
 1806 map (no 192) House and yard, Mr Hobbs of Stratford, occ Miss Gregory  
 September 1820 Lease by Mrs Costley to Walter Hill, now occ W Hill, previously Sam Edkins, late Abraham Murcott  
 1845 Dispute over right of way to rear of no 7, ?in relation to sale of no 7 from Bolton to Nicks. Abstract of title 1844, no 5, described as formerly the Black Boy.  
 February 1863 Mary Ledbrooke to Thomas Kemp, formerly occ Charles Gregory Wade, Widow Williams, Mrs Shuckbow, Miss Evans, Mr Murcott, Mr Atkins, James Oram, Walter Hill, Thomas Nicks, now Thomas Aston Binns; Warwickshire Bank for Savings to N, Oken Charity to S, occ William Watts Soden, Charlotte Steel.  
 1863 Kemp, Thomas & John Grocers & Tallow Manufacturerers (Kelly 1863)  
 1872 Webb, Frank (Kelly 1872)  
 1872-6 Wright, Edward (Kelly 1872; 1876)  
 1884 Kemp, Thomas (Kelly 1884)  
 1904 Hawkes, John (Kelly 1904)  
 September 1907 Lease by T Kemp to J Jones  
 1912 Jones, Mary Furnished Apartments (Kelly 1912)  
 July 1920 Thomas Kemp to Jane Briscoe and Mary Ann Buckley  
 1921 Briscoe, Jane (Mrs) Apartments (Kelly 1921)  
 January 1924 Mary Buckley died leaving share to Jane Briscoe  
 December 1924 Jane Briscoe to HB Fenton  
 September 1936 purchased by WCC from late HB Fenton for £700

### **7 Northgate Street (WCC Deeds 567)**

1582, 1586 Thomas Clark.  
 1694 house of Widow Ashwin "totally consumed" by fire (occ. Joseph Willis, baker).  
 1697 toft sold to Samuel Burford, innkeeper: grant for rebuilding.  
 April 1701 John Ashwin, post fire hearing  
 November 1702 Samuel Roberts alias Burford Roberts/James Hope – Burnt ground  
 1702, 1704 Mr Worcester.  
 May 1708 James Hope to Charles Watts, release of house in Sheep Street  
 1724, 1725 Mr Charles Watts.  
 1745/6, 1748, 1755 Gery Packwood.  
 c.1775 Mrs Packwood.  
 1788 map (no 320) Mr Packwood.  
 May 1790 Charles Porter Packwood to Joseph Lee  
 March 1793 Rev Thomas Lee to Miss Charlotte Lee

August 1793 Charlotte Lee to Judith and Ann Smyth et al  
 1806 map (no 193) House and yard, J B Smyth, occ Mrs Stanley  
 October 1812 Amos Middleton to J Bohun Smyth (wall and ground and right of way)  
 April 1845 Joseph Bolton to Thomas Nicks, formerly occ Mary Packwood, Charlotte Lee, Judith and Ann Smyth, Patience Stanley, John Bayliss, Edward Jay and now Thomas Nicks  
 April 1845 T. Nicks to Lord Brooke as Trustee of Warwickshire Savings Bank (Lease of 999 years to WSB)  
 1863 Sanderson, William Barker Solicitor (Kelly 1863)  
 1866 Sanderson, William, Barker (Morris 1866)  
 1872 Sanderson, William Barker Solicitor, & Auditor to County Lunatic Asylum (Kelly 1872)  
 May 1873 Trustees of Warwickshire Savings Bank to G Cotton [plan]  
 1884 Kendrick, Mary Ann Dress Maker (Kelly 1884)  
 1884 Stamper, Miss (Kelly 1884)  
 December 1891 Edwin Cotton and DA Mardon to Grace Chadwick, "for many years used as the Warwickshire Savings Bank", now occ. H Hubbard  
 1896-1936 Chadwick, Lloyd (Kelly 1896; 1904; 1912; 1921; 1932; 1936)  
 March 1906 Grace Chadwick to Lloyd Chadwick  
 September 1936 purchased by WCC from late L Chadwick for £950  
 1939-1948 Ministry of Agriculture & Fisheries, Collard, Spencer Victor District Inspector (Kelly 1939; 1940; 1942; 1948)

### 9 Northgate Street (WCC Deeds 286)

1582, 1586 Richard Holmes.  
 1695 toft of John Prichard to Richard Hands, maulster.  
 1694 7 bays, John Pritchett  
 1696 sold to Joseph Willis, baker and rebuilt. 1702,  
 1704 Joseph Willis.  
 1724, 1725 Mrs Willis.  
 1732, 1744 Joseph Willis.  
 1745/6 Wm. Neale.  
 1772 Mr Neale.  
 c.1775 T. Court (occ. J.Holmes).  
 1788 map (no 319) Mr Court.  
 1806 map (no 194) House and yard, Thomas Court, occ Thomas Garratt  
 August 1814 premises purchased by Clerk of the Peace from Dr Amos Middleton for £546 (WCC Deeds 286)

### Plot A (11 Northgate Street)

1409 Stonhalle of Lucy Wodelowe (owed dower in it).  
 1424 tenement called Stonhalle of St Mary's Church (5d chief rent paid by John Wodelowe).  
 c.1471, 1490/1 St Mary's Church (John Banham)  
 1507/8 St Mary's (John Lovell).  
 c.1540, 1544, 1547 St Mary's (Clement Chare).  
 1575 5d chief rent now to Earl of Warwick, paid by Lyonell Croft *et al* (tenant: John Cooper).  
 1590 Lionell Crofte + William Hopkins (tenant: John Coe).  
 1619 tenement of William Hopkins.  
 1682 Shire Hall partly built on land of Mr John Pritchett (to have part of orchard and house of office in exchange, but to build replacement for public use).  
 1694 house "all burnt" John Pritchard (with adj. house).  
 1699 Corporation House (one bay and backside: 20ft at front, 22ft at back, 76ft long adj. Shire Hall) to be decreed to John Pritchett (held by him for 51 years).

1704 Mrs Pritchett.  
 1732 Richard Murray.  
 1744 Thomas Ward, mercer.  
 1745/6 Christopher Wren.  
 1748, 1755 held by Thomas Ward.  
 1772 Mrs Parker.  
 c.1755 Hon. Mr Greville (occ. J. Ash).  
 1788 map (no 318) Mr Moore.  
 1806 map (no 195) House and yard (The Unicorn), John Bird, occ Thomas Masters  
 August 1814 premises purchased by Clerk of the Peace from W James and trustee for  
 £900 (WCC Deeds 286)

### **Judges House** (WCC Deeds 286)

December 1816 ground purchased by Clerk of the Peace from W Stiles and trustee for  
 £400 [land to rear, part of 18-20 Old Square]  
 1824 County of Warwick (Judges House).  
 1863 Judges Lodgings Woodfield, Ann Keeper of Judge's Chambers (Kelly 1863)  
 1876 Judges Lodgings Mrs Elizabeth Blackwell, Housekeeper (Kelly 1876)  
 June 1883 Land to rear of Judges House purchased by WCC from J Cashmore (20 Old  
 Square) for £350 (WCC Deeds 225)  
 1884 Judges Lodgings Mrs Elizabeth Blackwell, Housekeeper (Kelly 1884)  
 1896 Makepeace, Samuel Keeper of Shire Hall (Kelly 1896)  
 1904 Chopping, Joseph Keeper (Kelly 1904)  
 1904 Judges Lodgings Mrs Chopping Housekeeper (Kelly 1904)  
 1912 Judges Lodgings Mrs Burroughs Housekeeper (Kelly 1912)  
 1921 George Burroughs Housekeeper (Kelly 1921)  
 1921 Judges Lodgings Mrs Burroughs, Housekeeper (Kelly 1921)  
 1932 Kean, George Housekeeper (Kelly 1932)  
 1932 Kotch, Harold Officer, Public Assistance Committee (Kelly 1932)  
 1932 Judges Lodgings, Ethel Kean, Housekeeper (Kelly 1932)  
 1936-1948 Judges House (Kelly 1936; 1939; 1940; 1942; 1948)

### **Plot B The Shire Hall** (WCC Deeds 287, 344, 345)

1424 tenement of St Mary's Church (Robert Dover, lately Robert Myle, paying 12d  
 chief rent).  
 c.1471 Myles Place, Earl of Warwick paying chief rent.  
 1480 'le Stewards Place' at 40s rent to Earl.  
 1482 messuage "le Stuardesplace" £4 rent, now nil since to John Huggefurd for life.  
 1502 mansion 'le Stewardys place'.  
 1507/8 Myles Place, St Mary's (Earl of Warwick).  
 c.1540 The King paying chief rent for the Stewards Place to St Mary's.  
 1544 chief rent extinguished.  
 1575 "common with garden adj. called Shire Hall".  
 1576 house lately called Stewards Place and now Shire Hall with waste and garden  
 granted by Earl of Warwick to Corporation.  
 1590 Hall lately built on waste formerly called le Stewards place, for Justices of the  
 Peace.  
 1674 Shire Hall garden (dimensions given in WRO CR1618/W4/80; SBT  
 DR37/2487).  
 June 1705 Feoffment of Shire Hall (and Gaol and House of Correction) (WCC Deeds  
 345)  
 1788 map (no 317) County Hall  
 1806 map (no 196) County Hall  
 1876 County Court, Judge R Harrington, Brabazon, Campbell, Registrar (Kelly  
 1876)

**Plot C**

- 1482 messuage at 10s copyhold paid by Thomas Derby to Earl of Warwick.  
 1576 burgage/tenement, garden adj. (abuttals given) customary tenant Edward Hoppen (occ. Lawrence Adams).  
 1582, 1586 Laurence Whadham/Odams.  
 1590 Anne Hopton, widow.  
 1619 John Norton.  
 1629 tenement, appurtenances of John Norton.  
 1641 Thomas Griffin.  
 1676 messuage, orchard, garden, backside (dimensions given in SBT DR37/2788) Robert Chernock purchased from Francis Griffin, now conveyed to Earl of Northampton *et al* for gaol, workhouse, house of correction.  
 October 1676 Lease and sale by Mr Chernock of a messuage for the purposes of a County Gaol (WCC Deeds 344)  
 1655 gaol garden to be divided (details given in Proceedings in Quarter Sessions vol. vii, 125 ??).  
 1694 County Gaol and House of Correction lost in fire.  
 1698 The Gaole House.  
 1707 11s copyhold rent paid by County Justices for Gaol.  
 1755, c.1775 County Gaol House and ground.

**Plot D**

- 1480 tenement of Earl of Warwick at 7s rent, vacant since needs repairing, formerly held by Thomas Hayton.  
 1482 messuage 7s copyhold rent paid by John Large.  
 1576 burgage/tenement and garden, customary tenant Richard Edwards (occ. W. Marroll).  
 1582 William Marell.  
 1629 tenement, garden (occ. Katherine Kinge).  
 1631 rented by County as House of Correction (until 1687)  
 1641 tenement and barn (Katherine King).  
 1694 house lost in fire, Robert Watts, chandler, with goods of Charles Watts, flaxdresser.  
 1702, 1704 John Watts.  
 1707 house and backside, John Watts paying 8s copyhold rent.  
 1724 John Watts.  
 1725 Cha. Watts jun.  
 1727 Charles Watts.  
 1732 John Watts.  
 1744, 1755 Gery Packwood esq.  
 1745/6 John Dennett.  
 1748 Dr Haddow.  
 1767 Mary Packwood and son to Hannah Bateson  
 June 1776 Sale by Hannah Bateson of a messuage in Sheep Street for use as a Bridewell (WCC Deeds 344)

**County Gaol and Militia Barracks**

- 1788 map (no 316) part of Gaol.  
 1803 "now part of the gaol".  
 1806 map (no 197) The Goal  
 1850 County Gaol Adkins, Henry, Governor (White 1850)  
 1912 Warwickshire Yeomanry Territorial Force (Kelly 1912)

## Warwickshire County Council Offices

1932 Shire Hall Willis, Robert Metherell Snr Asst Solicitor, Council (Kelly 1932)  
 1932 Shire Hall Wood, A Hamilton County Medical Officer of Health (Kelly 1932)  
 1932 Shire Hall Brown, David Howman Surveyor To Council (Kelly 1932)  
 1932 Shire Hall Watson, David Deputy Surveyor To Council (Kelly 1932)  
 1932 Shire Hall Stephens, Leon Edgar Clerk of Peace (Kelly 1932)  
 1932 Shire Hall Bunch, A.C. County Architect (Kelly 1932)  
 1932 Shire Hall Elkins, Charles Deputy County Architect (Kelly 1932)  
 1936-1948 Shire Hall (Kelly 1936; 1940; 1942; 1948)

## Old Square (Women's Market)

### 2 Old Square (See 1, 3 Northgate Street for pre-1694 records)

1696/7 new Vicarage house rebuilt for Corporation.  
 1697, 1704 Mr Eedes.  
 1724 Rev. William Greenwood, vicar.  
 1732, 1744 Edwards Tart, clerk.  
 1766 exchanged with Alderman Dennitt for the Deanery in the Butts (occ. Ann Hiorn): present house not as convenient or commodious.  
 1788 map: Mr Henry Dennett, Boarding School House.  
 1806 map (no 215) 1 house, Richard Loveday (occ R. Loveday)  
 1872 Marris, Sarah, Lodging House (Kelly 1872)  
 1876 Royal Engineers Office (Kelly 1876)  
 1896 Dickins, Rev. Richard Herb, Chaplain to Warwick County Asylum (Kelly 1896)  
 1904 Margetts, John (Kelly 1904)  
 September 1907 Margetts and Biddle et al to JH Margetts, trustees  
 1912 Margetts, John, H (Kelly 1912)  
 1921 Margetts, Mrs John (Kelly 1921)  
 1932 Harvey, Phillip Henry Dental Surgeon (Kelly 1932)  
 1932 Cohen, R Alban Dental Surgeon (Kelly 1932)  
 October 1933 JH Margetts, trustees to Beatrice Cohen  
 1936-1948 Cohen, R, Alban Dentist (Kelly 1936; 1040; 1942; 1948)  
 May 1963 sale of land to rear to WCC (72 sq yds, then dental workshop) by Mrs B Cohen to WCC

### Rear of Nos. 4, 6 Old Square (north of Pebble Lane)

c.1545 tenement, Crosbey paying 20s rent to St Mary's Church.  
 1573 3 almshouses of Okens Charity.  
 1586, 1589 6 almswomen.  
 1694 lost in fire.

### 4-10 Old Square (See 1, 3 Northgate Street for pre-1694 records)

1697 No. 4 rebuilt "according to a draught" 18ft square for Corporation (Okens Charity).  
 1696 No. 10 rebuilt "according to a draught" 20ft in front, 18ft deep for Corporation (Oken's Charity).  
 1755, c.1775 3 houses of Oken's Charity.  
 1788 map: Oaken's Charity.  
 1806 map (no 214) 4 houses, Oaken's Charity (occ Francis Dipple, King, Weston, James Wilson)

1879 Sale catalogue (WRO CR1618/WA17/112, with plan). Four houses (4, 6, 8 & 10): Hairdressers occ H Hurley, 3 dwellings occ Miss King, Mrs Neale and Mrs Trecess (2 common rights). Bought by R C Heath of Warwick, gent for £850.

#### **4-14 Old Square, former Warwick Post Office**

No 4

1863-96 Hurley, Henry Perfumer & Hairdresser (Kelly 1863; 1872; 1876; 1884; 1896)  
1904-12 Plenty, Alexander Hairdresser (Kelly 1904; 1912)

No 6

1872-84 King, Miss (Kelly 1872; 1876; 1884)

No 8

1872 Buckley, Mrs (Kelly 1872)  
1876 Neal, Matilda (Mrs) Ladies School (Kelly 1876)  
1884 Makepeace, Ann Elizabeth Preparatory School (Kelly 1884)

No 10

1850 Trepess, Alfred William Auctioneer & Appraiser (White 1850)  
1866 Trepess, Rebecca (Morris 1866)  
1872 Trepess, Rebecca (Mrs) Registry for Servants (Kelly 1872)  
1884 Trepess, Rebecca Servants Registry Office (Kelly 1884)

No 12

1876 Maycock, Eli Provision Dealer (Kelly 1876)  
1884 Stranks, John Alfred Butcher (Kelly 1884)

No 14

1863-76 Great Western Railway Goods & Parcels Office (Kelly 1863; 1872; 1876)  
1876 Gilby, Harry (Kelly 1876)

April 1885 MJ Graveley and W Kendrick to Postmaster-General (WCC Deeds 286)

1890 Post Office

1912 Post Office Miles, Thomas Postmaster (Kelly 1912)

1936-40 Warwick Post Office (Kelly 1936; 1939; 1940)

March 1956 Back of PO, 5.5 sq yd purchased by WCC from Postmaster General for £3, right of way exchanged (WCC Deeds 286)

#### **12-16 Old Square**

1544, c.1545 tenement mansion “vicar’s house”, John Walwyn paying 20s rent to St Mary’s Church.

1597 messuage/tenement, garden, Henry Ferrers to Thomas Shackspeare, yeoman (abuttals in WRO CR1618/W4/97/7).

1694 house of Sarah Atkins, et al. lost in fire.

1697 toft sold by John Sale to Samuel Roberts, alias Burford, brickmaker, and messuage rebuilt. (Plan of ground in Farr 1992, 343).

1698-1704 Samuel Burford.

1732 Thomas Abbots.

1744 Susanna Abbott, widow.

1755 widow Abbot (occ. Jos. Wright + Henry Vennor).

c.1775 Mr Abbots (Jos. Wright + Parsons).

1788 map (no 299) Mr Abbott.

**16 Old Square, former Dale Temperance Hotel and Coffee Tavern (WCC Deeds 532)**

1806 map (no 213) 2 houses, William Styles (occ W Styles, Walter Hill)  
 March 1830 Trustees of Wills of William Stiles and John Piper to Thomas Abbotts Tibbits  
 1849-76 Tibbits, Thomas Abbotts, Butcher (Slater 1849; Kelly 1863; 1872; 1876)  
 May 1877 Will of TA Tibbits to Richard Tibbits  
 October 1879 Richard Tibbits to Thomas Bellamy Dale [with plan]  
 June 1880 Eli Maycock to TB Dale, sale of strip on east side of property [with plan]  
 January 1891 Trustees of Will of TB Dale to to Mrs Maria Jane Heazell  
 1896 Knowles, Henry Dale Temperance Hotel (Kelly 1896)  
 1904-12 Briscoe, William Henry Insurance Agent (Kelly 1904; 1912)  
 1904-12 Briscoe & Buckley Dale Temperance Hotel (Kelly 1904; 1912)  
 1921 Pratt, James Frederick Temperance Hotel (Kelly 1921)  
 July 1922 Mrs M J Heazell to James Pratt  
 September 1930 J F Pratt to Mr & Mrs CF Robbins  
 1932 Robbins, Charles, F Temperance Hotel (Kelly 1932)  
 1932 Ideal Benefit Society (Robbins, CF, Sec) (Kelly 1932)  
 1936 (14 & 16) Dale Temperance & Commercial Hotel (Mr & Mrs Robbins, Proprs) (Kelly 1936)  
 1936 Ideal Benefit Society C.F Robbins, Secretary (Kelly 1936)  
 March 1936 purchased by WCC from Mr & Mrs CF Robbins for £2550  
 1939 Newman, John (Kelly 1939)  
 1939 Warwickshire County Council Staff Club Allgate, A, Secretary (Kelly 1939)  
 1940 Newman, John (Kelly 1940)  
 1940 Warwickshire County Council Staff Club H, Hawes, Secretary (Kelly 1940)  
 1942 Warwickshire County Council Staff Club (Kelly 1942)  
 1942 Brett, Alfred, George (Kelly 1942)  
 1948 Warwickshire County Council Staff Club Malien, W.L, Secretary (Kelly 1948)  
 1948 Hill, Rd (Kelly 1948)

### 18 -22 Old Square

1582, 1586 Gregory Wood.  
 1641 message, John Lane paying 1d chief rent to Earl of Warwick.  
 1694 house of Thomas Lane all burnt (occ. John Burton, innholder).  
 1697 part rebuilt by John Burton, silkweaver, on site of King's Arms Inn.  
 1698-1708 John Burton.  
 1709 2 dwellings to John Mitchenor.  
 1712 occ. John Blick, baker + Abraham King, flaxman.  
 1738 2 messages of John Hamp (occ. John Hamp, Mr John Allard).  
 1744-1748 Benjamin Hamp.  
 1755 Benjamin Hamp (occ. Benjamin Hamp, John Clifford).  
 c.1775 Benjamin Hamp (occ. W. Wright, B. Gery).  
 1788 map (no 300) Mr Fowns.  
 ?18-20 1806 map (no 212) 1 house, Dr Amos Middleton (occ Dr A Middleton)

### 18 Old Square (WCC Deeds 533)

October 1792 Ebenezer Townes to William Birch, with 2 other messages/tenements purchased by E Townes from Ben Hamp, son of Ben Hamp, son of John Hamp, baker, late occ B Gere, since E Townes, then W Birch.  
 February 1805 Copy will of W Birch to Amos Middleton, surgeon.  
 August 1813 A Middleton and Robert Fletcher, mortgagor to William Stiles, mercer, Walter Joill, mercer  
 1863 Abstract of title William Sale (overwritten J Styles)  
 1864 James Austin to James Styles

December 1898 J Styles to S Hilton and Sons, formerly occ Richard Walter, later James Styles  
 1872-84 Styles, James Boot & Shoe Maker (Kelly 1872; 1876; 1884)  
 1896 Styles, James Ironmonger, Furniture Dealer, Boot & Shoe Maker (Kelly 1896)  
 1904-32 Hilton, S & Sons Boot & Shoe Warehouse (Kelly 1904; 1912; 1921; 1932)  
 March 1936 purchased by WCC from S Hilton and Sons Ltd, boot factors for £1100  
 1936 Meredith, Mrs, Ivy, M Draper (Kelly 1936)

## 20 Old Square (WCC Deeds 562)

January 1720 Robert Kitchener and wife to John Eames, butcher  
 June 1738 Probate of will of J Eames  
 August 1779 B Hamp to Ebenezer Townes, 3 messuages/tenements, formerly occ B Hamp, decd, Mark March, mercer, William Cornwall, tailor, now Bernard Gere, W Waight, Job Hobbins  
 October 1792 Townes to William Birch  
 February 1805 Will of William Birch to Amos Middleton  
 August 1813 A Middleton and R Fletcher to William Stiles  
 February 1817 Will of William Stiles  
 August 1813 Will of William Canning  
 November 1822 Will of John Piper  
 April 1841 John Russell to John Piper  
 May 1842 Charles Mann to William Sale  
 1863 Cashmere, George Butcher (Kelly 1863)  
 April 1864 William Sale to James Austin, 2 messuages/tenements, lately occ Richard Walker, hosier, William Yerrow Cattell, grocer, now untenanted  
 1866-76 Austin, James Butcher (Morris 1866; 1872; 1876)  
 November 1882 Trustee of J Austin to John Cashmore  
 June 1883 Land at rear (slaughterhouse and premises) purchased by Clerk of the Peace from J Cashmore (20 Old Square) for £350 for incorporation into Judges House (WCC Deeds 225)  
 1884-6 Cashmore, John Butcher (Kelly 1884; 1886)  
 June 1904 WA Walker decd to ECP Waring, heretofore Butcher's Shop and right of way in occ William Yerrow Cattrell, James Austin, lately John Cashmore  
 1912-32 Waring, Edward Charles Pratt Teacher of Music (Kelly 1912; 1921; 1932)  
 February 1922 Lease by E Waring to Alfred Faulks, draper  
 1936 Waring Edward, Charles Pratt Music Teacher (Kelly 1936)  
 September 1936 purchased by WCC from EC Waring for £1250

## 20a Old Square

1912 Hayward, Eardley, Mrs Milliner (Kelly 1912)  
 1921 Faulkes, Alfred Outfitter (Kelly 1921)  
 1921 Warwick Ind. Co-Operative Society (Kelly 1921)  
 1921 Warwick Clothing Stores Clothiers (Kelly 1921)  
 1932 Faulks, Alfred Wholesale Clothier (Kelly 1932)  
 1932 Warwick Clothing Stores Clothiers (Kelly 1932)  
 1936-1942 Faulks, Alfred Clothier (Kelly 1936; 1939; 1940; 1942)

## 24 Old Square

1582, 1586 Cicely Skirrowe/Skyroll.  
 1697 house built by Thomas Lea, innkeeper.  
 1698-1704 Joseph Batteson/Bettison.  
 1732, 1738 Thomas Blick.  
 1742 message, John Hamp (occ. William Wilson, apothecary).  
 1755 Benjamin Hamp (occ. William Carnwall).

c.1775 Benjamin Hamp (occ. Hobbins).  
1788 map (no 301) Mr Dadley.

### **22-24 Old Square (WCC Deeds 534)**

December 1825 William Newey by will to Elizabeth Newey, occ William Newey, butcher (nephew)  
August 1862 H A Bond and J S Wright to Mrs Elizabeth Bond  
October 1863 Elizabeth Bond to Richard Buckley, ?no 22  
March 1892 Probate of will of R Buckley, to R H Buckley, premises in Old Square with other property in Warwick  
February 1899 R H Buckley to Charles Buckley, no 22, formerly occ William Wheeler, John Romney, John Commander, since Richard Buckley now Charles Buckley  
January 1905 E A Simkin to Mr C Buckley, tin man, no 24.  
November 1921 Lease by Mary Ann Buckley of no 22 to Mr A C Conduit, £45 pa  
May 1928 Lease by Mary Ann Buckley of no 22 to EE Durrant  
October 1933 Lease by Mary Ann Buckley of no 24 to LE and JM Smith  
March 1936 purchased by WCC from Mrs MA Buckley for £2000

### **22 Old Square**

1806 map (no 211) 1 house, William Percocks (occ W. Percocks)  
1849-72 Buckley, Richard Brazier (Slater 1849; 1863; 1872)  
1876-84 Buckley, Joseph Brazier (Kelly 1876; 1884)  
1904-21 Buckley, Charles Brazier (Kelly 1904; 1912; 1921)  
1932 Durrant, Edward Ironmonger (Kelly 1932)  
1936 Durrant, Edgar, Edward Ironmonger (Kelly 1936)

### **24 Old Square**

1806 map (no 210) 1 house, Joseph Price (occ J. Price)  
1863-76 Hopkins & Son Tailors & Woollen Drapers (Kelly 1863; 1872; 1876)  
1896-1912 West, Thomas Florist & Seedsman (Kelly 1896; 1904; 1912)  
1921-32 West, Thomas Florist (Kelly 1921; 1932)  
1936 Smith, Misses, J & L Confectioners (Kelly 1936)  
1940 Warwickshire Land Army HQ, Mrs M Atkins, Secretary (Kelly 1940)  
1942 Warwickshire Womans Land Army, Miss D Hunter, Secretary (Kelly 19420)

### **26-30 Old Square**

1424 2 cottages of St Mary's church, paying 2s rent.  
1490/1 2 tenements, occ. Roger Coks, Margery Harryson at 4s rent each.  
1507/8 2 cottages, James Conyngeham paying 4s rent to St Mary's Church.  
c.1540-1545 cottage, Mother Conyngham paying 6s rent (allow 12d).  
1582, 1586 Robert Harryson.  
1696 messageage totally burnt down, of Elizabeth Martin, widow; ground sold to Richard Hancox.  
1697 2 houses built by Richard Hancox, glazier.  
1698 now 3 tenements of R. Hancox.  
1702, 1704 Edward Brasier, James Wilson, Richard Hancox.  
1755 Atterbury (occ. S. Forster, S. Burnit, Mary King).  
c.1775 Robert Atterbury (occ. widow Dadley, T. Stiles, T. Bond)  
1788 map (no 302) Mr Atterbury

### **26 Old Square (WCC Deeds 507)**

c.1787 Mrs Hudson, late Atterbury (WRO QS 24/579, no. 4)

1806 map (no 209) 1 house, Thomas Hodgkinson (occ T. Hodgkinson)  
 1844 Mr Hopkins (WRO QS 24/584/1/2)  
 1863-72 Hopkins, Miss (Kelly 1863; 1872)  
 1876 Bartram, Frederick Boot & Shoe Maker (Kelly 1876)  
 March 1877 FP Bartram to J Wright for £550 (except attic room at the back of the adjoining dwelling house formerly occupied by Miss Treherne)  
 1896 Simpkin, Edmund, Alfred Corndealer (Kelly 1896)  
 1904 Cockburn, JL & Son Corn Dealers (Kelly 1904)  
 July 1910 J Wright to Sophia Scudamore, formerly occ Ann Ladley, William Spicer, John Ayres, Thomas Bagshawe Hodgkinson Sr, Sarah Hodgkinson, TB Hodgkinson Jr, Thomas Hopkins Jr, Misses Hopkins [nieces of FP Bartram], Frederick Peter Bartram (who converted the lower part to a shop), J Wright, EA Simpkins, JL Cockburn and Sons, and now EC Drinkwater  
 1912 Drinkwater, S Corn Dealer (Kelly 1912)  
 July 1913 Sophia Scudamore to J Seary, formerly occ EA Simkin, JL Cockburn and Sons, EC Drinkwater, now Alan Bridgwater  
 1921 Bridgwater, Alan Corn Dealer (Kelly 1921)  
 July 1922 J Seary to Mrs AG Bridgwater for £450  
 October 1927 AG Bridgwater to RH Uren  
 1932 Bridgwater & Co Corn Dealers (Kelly 1932)  
 November 1935 purchased from RH Uren decd by E Lakin-Smith for WCC for £750 (except attic room ... as before)  
 March 1936 E Lakin-Smith to WCC for £750

### 28 Old Square (WCC Deeds 535)

1806 map (no 208) 1 house, Mrs Hudson of Coventry (occ William Bond)  
 1872-6 Trehearn & Bradshaw (Misses) Baby Linen Warehouse (Kelly 1872; 1876)  
 May 1873 Late T Hopkins to Misses Hopkins  
 1884 Trehearn, Martha Baby Linen Warehouse, Stay & Corset Maker (Kelly 1884)  
 1896 Hilton, Stephen Boot & Shoe Warehouse (Kelly 1896)  
 1896 Trehearn, Sarah Emma Baby Linen & Art Needle Repository (Kelly 1896)  
 1904 Dawson, Ann E Confectioner (Kelly 1904)  
 November 1914 Late E Hopkins to WT Freshwater  
 October 1920 WT Freshwater to Miss SJ Chilton  
 1912-21 Chilton, Jennie (Miss) Confectioner (Kelly 1912; 1921)  
 1932 Chilton, Jane & Alice (Misses) Confectioners (Kelly 1932)  
 1936 Chilton, Misses, J & AM Confectioners (Kelly 1936)  
 June 1936 purchased by WCC from Miss SJ Chilton for £ 950  
 May 1947 40 sq yds dedicated as road

### 30 Old Square (WCC Deeds 405)

c.1787 Mr Parkes (WRO QS 24/579, no. 4)  
 1788 map (no 303) Mr Parkes  
 1806 map (no 207) 1 house, William Perry (occ W. Perry)  
 1844 Mr Enock (WRO QS 24/584/1/2)  
 March 1858 Will of Alfred Enock, Watchmaker and Jeweller to his brother WR Enock  
 1863-1904 Enock, W & Son Watchmakers (Kelly 1863; 1872; 1876; 1884; 1896; 1904; Morris 1866)  
 September 1912 WR Enock died leaving life interest to Mrs Margaret Enock who died in September 1932  
 1912 Mette, Bena Dressmaker (Kelly 1912)  
 1921 Roy, Olave (Mrs) Blouse Specialist (Kelly 1921)  
 1932 Howden, Frederick George Café (Kelly 1932)  
 1932 Smith, Janet Pastry Cook (Kelly 1932)  
 July 1933 purchased by WCC from late W R Enock for £ 850

1936-39 Howden, Frederick, George Café (Kelly 1936; 1939)

## **Area B, North-west of Barrack Street** (Fig 29)

### ***Barrack Street (north-west side)***

#### **1-7 Barrack St**

1585 Waste & barn, Earl of Warwick, occ Wm Wall, 3/4d rent (1619 rental)  
 1590 Waste & barn, Earl of Warwick (Rd Fisher), occ Wm Wall, 3/4d rent (1590 survey)  
 1630 Waste & barn, Bolton & Co to Thos Wall, husbandman, Late Wm Wall 3/4d rent (CR1886/7003)  
 1641 Waste & barn, Thos Wall, 3/4d rent (rental)  
 1707 Waste, Edward Wall & John Marshall, 3/4d rent (rental)

#### **1-5 Barrack St**

1742 Waste, Edward Wall, 1/4d rent (CR1886/7003)  
 1786 House & garden, Hughes (QS24/579/18)  
 1788 3 houses, Mrs Hughes (Town maps)  
 1806 3 houses, Hughes, occ Haynes & others (Town maps)  
 Pre 1859 Messuage & barn, stable etc., Edmund Tompkins & Elizabeth Cockbill to Richard Good, occ Late Edward Wall, then David Hughes, then R Wilson (CR1618/W4/49)

#### **1 Barrack St**

1859 Messuage & bakehouse, James Spooner to Wm Duckett, grocer, occ Late Robt Goode, then John Wood, then Jn Spooner, now Wm Duckett (CR1618/W4/49)  
 1899 Messuage & bakehouse, Wm Duckett to Thos Smith, occ Late Robt Goode, then John Wood, then Jn Spooner, now Pryce Davies (CR1618/W4/49)

#### **3 & 5 Barrack St**

Pre-1860 2 messuages & paint shops, Robt Goode to Joseph Phillips (CR1618/W4/49)  
 1860 2 messuages & paint shops, Devises of Eliz. Phillips to Thos Pratt, maltster, occ Late Edward Haynes and Joseph Anderton, now Joseph Anderton, John Bumford and Henry Elvins (CR1618/W4/49)  
 1860 2 messuages & paint shops, Devises of Eliz. Phillips to Thos Pratt, maltster, occ Late Edward Haynes and Joseph Anderton, now Joseph Anderton, John Bumford and Henry Elvins (CR1618/W4/49)  
 1869 2 messuages & paint shops, Thos Pratt to sons, occ [blank] Anderton and [blank] Taylor (CR1618/W4/49)  
 1894 2 messuages & paint shops, Thos Pratt's sons to Lloyd's Bank, occ Joseph George Milton and John Shakespeare Clark, (coachhouse or shed beneath in occ. of Salmon) (CR1618/W4/49)  
 1898 2 messuages & paint shops, Lloyd's Bank to H P Smith & Rd Smith, occ James Barnett and Miss Clarke (coachhouse or shed beneath in occ. of ?) (CR1618/W4/49)  
 1899 2 messuages & paint shops, H P Smith & Rd Smith to Thos Smith, occ James Barnett and Miss Clarke (coachhouse or shed beneath in occ. of ?) (CR1618/W4/49)

#### **7 Barrack St (Police Station)**

- 1641-1707 Waste, Thos Wall to Jn Marshall (3065/344/2)  
 1707 Waste, John Marshall, 2/- rent (rental)  
 1714 Messuage & barn, Jn Marshall to Joan Roads, widow, occ Jn Marshall (3065/344/2)  
 1721 Messuage & barn, Joan Roads to Jn Tatnall, mason, occ Samuel Green (3065/344/2)  
 1765 3 cottages, William Tatnall to John Fell, cooper, occ Thomas King, Ann Canning, widow, and Samuel Taylor (3065/344/2)  
 1767 3 cottages, William Fell to John Fell, plumber (1/4 share), occ Thomas Roe, William Daniel and Elizabeth Hibbins (3065/344/2)  
 1782 3 messuages, James Fell to John Edwards of Stratford, cooper (1/4 share), occ Sarah Townsend, Mary Job and Elizabeth Mumford (3065/344/2)  
 1793 3 messuages, Jn Edwards (& other Fell descendants) to Henry Couchman, occ Sarah Townsend, Mary Job and Elizabeth Mumford (3065/344/2)  
 1802 3 messuages, Henry Couchman to William Humphriss, blacksmith, occ William Wright, Elizabeth Hudson and Sarah Townsend (3065/344/2)  
 1824 7 messuages, Mrs Humphriss, occ Wm Thompson, Wm Perkins, James Baker, Edward Field, Hannah Hudson, Joseph Townsend, unoccupied house (QS 32/Mids 1824)  
 1825 Late 8 messuages, Heirs of William Humphriss to the County, occ William Wright, Elizabeth Hudson and Sarah Townsend (SBT ER 3/2590)  
 1825-1827 Bridewell extension, County, being built (QS 24/65)  
 1881 Police Station, County (QS 43/5)

#### **Plot G (Roundabout House, part of Bridewell)**

- 1615 Waste, 54ft x 18ft, Nicholas Edmondes, 2/6d. rent (CR1886 1615 inq.)  
 1619 Barn, Nicholas Edmondes, 2/6d rent (1619 rental)  
 1630 Waste, Rd Hadley, 2/6d rent (1707 rental)  
 1641 Waste & buildings, Rd Hadley, 2/6d rent (1641 rental)  
 1694 House & pigsties, John Hadley, occ Samuel Dunckley (Farr)  
 1707 Waste, Henry Heath (late Rd Hadley), 2/6d. rent (1707 rental)  
 1716 Messuage & burnt toft, Henry Heath to William Addington, occ Late Samuel or John Dunckley (3065/344/2)  
 1753 Roundabout House, Wm Addington's heirs, occ Samuel Thomas, William Fell, Edward Stiles, Robert Ward and William Allen, (CR1103)  
 1769 Messuage etc. (Roundabout House), Chris. Wright's devisees to Thomas Roe of Warwick, butcher, occ Richard Lapworth, John Garland, Samuel Sherward, Elizabeth Petit, widow, (3065/344/2)  
 1786 Land (late Roundabout House), Thomas Roe's heirs to County, occ Late Mary Hewitt, Richard Shaw, Joseph Lapworth & Joseph Baly (3065/344/2)

#### **9 to 16 Barrack Street and 5 & 7 Joyce Pool**

- 1594 Waste, 60ft x 20ft, Copyhold lease to [Francis Atterbury?], rent 2/- (1615 inq, 1619 rental)  
 1619 Waste, Francis Atterbury, rent 2/- (rental)  
 1641 Waste & buildings, Edward Atterbury, rent 2/- (rental)  
 1707 Waste, Tatnal, Busby, Olds & Griffin, rent 2/- (rental)

#### **9 & 11 Barrack Street and 5 & 7 Joyce Pool**

- 1762 3 Messuages, Wm Tatnall leaves to Jane Whatton (dau.), occ Thomas Overton, Richard Clarke and Joseph Brookes (CR3065/464)  
 1786 2 Messuages and toft, Joseph Whatton to Thomas Briscoe, mason, occ late Thomas Overton, Elizabeth Shaw, widow and William Sharp, now void (CR3065/464)

1813 4 Messuages , Charlotte Briscoe & Chas Lapworth, occ Charlotte Briscoe, Thomas Briscoe, William Newton and [blank] Goode, widow (CR3065/464)

1813 4 Messuages , Charlotte Briscoe & Chas Lapworth, occ Charlotte Briscoe, Thomas Briscoe, William Newton and [blank] Goode, widow (CR3065/464)

### **5 & 7 Joyce Pool**

1814 2 newly built messuages , Thos Briscoe's heirs to Job Richardson, whitesmith, occ Mary Goode and William Newton (CR3065/464)

1852 2 messuages , Richardson's devisees to Joseph Schofield, occ John Blackwell and [blank] Lownes (CR3065/464)

1880 2 messuages , Schofield's devisees to David Wykes, musician, occ William Henry King and William Bromage (CR3065/464)

1895 2 messuages , Wykes to Albert Henry Roberts of Warwick, ironfounder, occ Mrs Chambers and Joseph Middleton (CR3065/464)

### **9 & 11 Barrack Street**

1814 2 messuages, Thos Briscoe's heirs to William Clifton, yeoman, and James Edwards, carrier, occ Thomas Briscoe and George Cooper (CR3065/464)

### **9 Barrack Street**

1848 Messuage, Executor of James Edwards to William Clifton, tailor, occ Late Jacob Hammons, then John Hammons, now William Clifton (CR3065/464)

1890 Messuage, Clifton's heir to Ann Duckett, occ Late William Clifton, deceased, now Oliver Akeman (CR3065/464)

1898 Messuage, Ann Duckett to A H Roberts, occ Oliver Akeman (CR3065/464)

1898 Messuage, Ann Duckett to A H Roberts, occ Oliver Akeman (CR3065/464)

### **5 & 7 Joyce Pool and 9 Barrack Street (WCC Deeds 464)**

1935 3 cottages, Roberts' executors to WCC, No. 9 empty; 5 & 7 Joyce Pool occ Mr A L Elswood and Mrs E Herdman (WCC 464)

June 1935 Acquired by WCC from Trustees of A H Roberts for £200

### **11 Barrack Street (WCC Deeds 1247)**

1848 Messuage, William Clifton to Joseph Ward, occ Late Samuel Hammons, then John Barrie, now Ashfield (CR3065/464)

1881 Messuage, Joseph Ward to Thomas and Walter Ward, (CR3065/464)

1927 Messuage, Rev. Walter Ward to Frederick George Pearce, occ Mrs Whitmore (WCC 1247)

1955 Messuage, Frederick George Pearce to WCC, occ Late Pearce (WCC 1247)

?May 1965 Acquired by WCC

### **13 & 16 Barrack Street**

1757 3 messuages, Ann Bradley, widow, occ William Shaw, Thomas Chellingworth and George Commander (CR1396)

1764 3 messuages, Sarah Fairfax, (CR1396)

1787 3 messuages, Jn & Ann Russell , occ Thomas Attwood, John Davis and Robert Bradley (CR1396)

1796 3 messuages, Jn & Ann Russell to Fulk Weale, occ Thomas Attwood, John Robbins and Richard Parker (CR1396)

1800 3 messuages, Fulk Weale to George Daws, porter merchant, occ Thomas Attwood, Joseph Robbins and [blank] Cooper (CR1396)

1802 3 messuages, Daws' heir to William Pettifer, innholder, occ Thomas Attwood, Joseph Robbins and William Cooper (CR1396)

1805 3 messages, William Pettifer, innholder, One rebuilt (void), occ Davis and William Cooper (CR1396)

### **13 Barrack Street (Hare & Hounds) (WCC Deeds 2163/6)**

1821 Message called Hare & Hounds, Pettifer's executors to John Atkins of Warwick, innholder, occ Late Pettifer, now John Atkins (CR1396)  
 1824 Message called Hare & Hounds, John Atkins to Jas Rose, veterinary surgeon, occ John Atkins (CR1396)  
 1869 Message called Hare & Hounds, Rose's executors to John Murcott Ledbrook, farmer, occ Late Richard & Susan Coles, now William Henry Hawkins (WCC 2163/6)  
 1896 Message called Hare & Hounds, Ledbrook's heirs to Lucas, Leaf & Bland, brewers, occ Late Hawkins, now Frederick Horne (WCC 2163/6)  
 1925, Message (late Hare & Hounds), Lucas & Co. Ltd to Warwick Trades and Labour Club and Institute Ltd, occ Warwick Trades and Labour Club and Institute Ltd (WCC 2163/6)  
 1972, Message (late Hare & Hounds), Warwick Working Men's Club & Institute Ltd to WCC (WCC 2163/6)  
 March 1972 Acquired by WCC

### **16 Barrack Street (WCC Deeds 2163/7)**

1811 Message, William Pettifer to Samuel Greaves and Richard Nicks, carpenters and joiners, occ Late Davis, then Samuel Greaves and now untenanted (WCC 2163/7/1)  
 1812 Message (rebuilt), Samuel Greaves and Richard Nicks (WCC 2163/7/1)  
 1817 Message, Greaves and Nicks to William and Joseph Phillips, wine merchants, occ John Turner (WCC 2163/7/1)  
 1838 Message, Joseph Phillips to Samuel Parrott, occ Samuel Parrott (WCC 2163/7/1)  
 1856 Message, Samuel Parrott to William Duckett, grocer, occ Samuel Parrott (WCC 2163/7/1)  
 1899 Message, W T Duckett to Tom Payton, occ Wm Gardner (WCC 2163/7/1)  
 1967 Message, Payton heirs to WCC, occ Wm Gardner (WCC 2163/7/1)  
 October 1967 Acquired by WCC

### **17 & 18 Barrack Street (with 19-20 and H up to 1806) (WCC Deeds 16)**

1604 Waste, Copyhold lease to William Sharley (1619 rental)  
 1615 House & waste, William Sharley (1615 inq.)  
 1619 House & waste, William Sharley (rental)  
 1630 House & waste, William Sharley (CR 1886/8253)  
 1641 Waste, William Sharley (rental)  
 1694 House, John Sharley, (Farr)  
 1781/2 House, etc., Mark Smithson & Lady Eliz. Archer to Earl of Warwick, occ Lancelot Westgarth (CR 1886/box 519 & box 543)  
 1787 House, etc., Earl to John Stanbridge (CR 26/1/2)  
 1806 House, etc., Thos Powers, occ Thos Powers (Town maps)  
 1811 Message, John Rowney, occ William Knight (abuttal)  
 1817 Message, John Rowney, occ William Knight (abuttal)  
 1838 Message, John Rowney, occ George Perkins (abuttal)  
 1856 Message, John Rowney, occ Shelswell (abuttal)  
 1899 Message, Tom Payton, occ late William Shelswell, now Rose Maycock (abuttal)  
 October 1923 No 18 acquired by WCC from E Paton & Mrs MAE Langston for £180  
 1931 Message, Edgar Payton to WCC  
 July 1931 No 17 acquired by WCC from E Paton for £200

**Joyce Pool (North-west side)****Plot A (Garden at east end)**

- 1782-1786 Garden, Earl of Warwick, occ Joseph Edwards (CR1886)  
 1787 Garden, Earl of Warwick to John Stanbridge, occ Joseph Edwards (CR 26)  
 1788 Garden, Mr Stanbridge  
 1790 Garden, Mr Stanbridge  
 1799 Garden, John Stanbridge, occ William Chamberlain the elder (CR 26)  
 1803 Garden, John Stanbridge to John Whitehead, occ William Chamberlain the elder (CR 26)  
 1803 Garden, John Whitehead to William Whitehead, occ William Chamberlain the elder (CR 26)  
 1806 Garden, William Whitehead (CR 26)  
 1834 Garden, Trustees of William Whitehead to Henry Eyres Landor, occ Late William Whitehead (CR 26)  
 1861 Garden, Henry Eyres Landor to Henry Christopher Wise, occ Henry Eyres Landor or tenants (CR 26)  
 1884 Garden, George Wise (died 1888), occ Herbert Holdcroft (WCC deeds 108)  
 1888 Garden, George Henry Waller (died 1892), occ ? (WCC deeds 108)  
 1892 Garden, Francis Ernest Waller (died 1914), occ ? (WCC deeds 108)  
 1914 Garden, Wathen Arthur Waller, occ ? (WCC deeds 108)  
 1921 Garden, WCC, occ Mr Griffiths then converted to car park (WCC deeds 108)

**2, 4, 6 & 8 Joyce Pool**

- 1575 Tenement, L Grey, occ J Plummer (rental)

**2, 4 & 6 Joyce Pool**

- 1694 House etc., Sarah Mayo, occ Sarah Mayo, baker (Farr)  
 1698 Unbuilt, Widow Mayo (C. Roll)  
 1724 Mr Radford (SGW)  
 1725 T Cooper (SGW)  
 1755 T Wright, Void (C. Roll)  
 1772 William Heath (SGW)  
 c.1775 W Eborall, occ J Banbrooke (SGW, C. Roll)  
 1788, Mr Eborall (Town maps)  
 1804 House, Wid. Eborall, occ Francis Chaplin (C. Roll)  
 1806 2 houses, Mrs Eborall, occ Jas Edwards & F Chaplin (Town maps)  
 1824 2 houses, Wm Whitehead, occ Hill & Smith (C. Roll)  
 c.1834 Houses, Wm Whitehead to H E Landor (CR 26/1 (2))  
 1842 2 houses, H E Landor, occ Vickers & Penn (C. Roll)  
 1852 2 houses, H E Landor, occ Bonnell & Taylor (C. Roll)  
 c.1861 Houses, H E Landor to E J Trepass (CR 26/1 (2))  
 1871 3 houses, Wm Robertson, occ Cooke, Lamb, Bearley (C. Roll)  
 1883 3 houses, Wm Robertson, occ Franks, Evans, Underhill (C. Roll)  
 1891 3 houses, Osborn, occ Guy, Upton, Boyd (C. Roll)  
 1900 3 houses, R Spennell, occ Franks, Golsby, Edgington (C. Roll)  
 1908 3 houses, R Spennell, occ Sewell, Wright, Watts (C. Roll)  
 1914 3 houses, M Spennell to Brabazon Campbell, Void (WCC deeds)  
 1915 3 houses, Campbell to Wathen Arthur Waller, Void (WCC deeds)  
 1916 3 houses, Sir W A Waller, Void (C. Roll)  
 1921 3 houses, Waller to WCC, Void, for use as education stores  
 ?January 1921 Acquired by WCC from W Shepherd for £350

**8 Joyce Pool**

- 1694 House, Thomas Mayo, occ John Miles, labourer (Farr)  
 1698 Unbuilt, Widow Mayo (C. Roll)  
 1748 E Makepeace, occ E Mumford (CR237/700)  
 1755 E Makepeace, occ E Mumford (SGW)  
 1766 E Makepeace dies: left to Henry Wigley (CR237/700)  
 1773 House etc., Henry Wigley, occ Jonathon Edwards (CR237/700)  
 c.1775 Rev Wigley (part), occ Wm Edwards (SGW)  
 1787 Mr Wigley (Town maps)  
 1804 Edm. Wigley, occ Dan'l Wood (C. Roll)  
 1806 House, Mr Wigley, occ Dan'l Wood (Town maps)  
 c.1820 E M Wigley map, occ David Wood (CR 410/M81)  
 1824 House, Wigley esq., occ Dan'l Wood (C. Roll)  
 1836 House etc, Wigley heirs to H E Landor, occ John Greaves (CR237/700)  
 1842 House, H E Landor, occ Thos Webb (C. Roll)  
 1852 House, H E Landor, occ Sarah Berwick (C. Roll)  
 1871 House, Wm Robertson, occ Jas Dawson (C. Roll)  
 1883 House, Wm Robertson, occ J Riley (C. Roll)  
 1891 House, Robertson's executors, occ H Franks (C. Roll)  
 1900 House, R Spennell, occ H Franks (C. Roll)  
 1908 House, R Spennell, occ C T Coop (C. Roll)  
 1914 1 house, M Spennell to Brabazon Campbell, Void  
 1915 1 house, Campbell to Sir W A Waller, Void  
 1921 1 house, Waller to WCC, Void, for use as education stores  
 ?October 1914 Acquired by WCC from Sir W A Waller for £600

**Plot B (Coachhouse etc.)**

- 1569 Barn, Earl of Warwick, occ Wm Eburhall (1575 rental)  
 1575 Barn, Earl of Warwick, occ Nich. Purslowe (copyhold) (1575 rental)  
 1590 Barn, Earl of Warwick, occ Nich. Purslowe (copyhold) (SGW)  
 1694 House & barn, Edward Aston, occ Edward Aston, labourer (Farr)  
 1698 House, occ Job Roads (C. Roll)  
 1724 occ N Cooper  
 1755 House, Gaol House, occ W Perkins (C. Roll)  
 1772 [Lea's Charity], occ Mr Gregory  
 c.1775 House, County Gaol, occ Sam Hudson (C. Roll)  
 1788 House, [Lea's Charity], occ debtors of the gaol  
 1804 Stable etc., Debtors [charity?] (C. Roll)  
 1806 Coachhouse, [Lea's Charity], occ County  
 1824 Stable etc., Debtors Charity (C. Roll)  
 1842 Stable, coach house etc., Debtors Charity (C. Roll)  
 1852 Stable etc., Debtors Charity, occ Sarah Berwick (C. Roll)  
 1871 Stable, coach house etc., Oken's Charity (C. Roll)  
 1879 Coachhouse, Oken's Charity to Geo. Hall, occ John Taylor (WCC deeds 108)  
 1883 Stable etc., Geo. Hall, occ Geo. Hall (C. Roll)  
 1885 Coachhouse, Hall's mortgagee to Robt Spennell, occ Wm Kendrick (previously G Hall) (WCC deeds 108)  
 1891 House, R Spennell, occ R Spennell (C. Roll)  
 1900 Stable etc., R Spennell, occ R Spennell (C. Roll)  
 1908 Stable etc., R Spennell, occ R Spennell (C. Roll)  
 1913 Coachhouse, M Spennell to WCC (lease), occ Late R Spennell (WCC deeds 108)  
 1914 Coachhouse, M Spennell to WCC, occ Education Dept. (WCC deeds 108)

**10 Joyce Pool**

- 13th century(?), Messuage, Wm de Daiville to Kenilworth Priory (SGW)  
 1482 Cottage, Kenilworth Abbey (SGW)  
 1545 Tenement, Crown to Taverners, occ W Sutton (SGW)  
 1575 Cottage, Robert West, occ John Waters (Rental abuttal)  
 1694 House, Thos Bartholomew, occ Thos Bartholomew, pipe maker (Farr)  
 1698 occ Thomas Winne (C. Roll)  
 1748 House, John Rhodes, occ Edward Munford (CR1225)  
 1755 House, John Roads, occ Eliz. Brookes (C. Roll)  
 1761 John Rhodes (will), occ John Rhodes (CR1225)  
 c.1775 House, John Tomes, occ Trepass (C. Roll)  
 1780 House, Mary Rhodes to Thomas Gregory, occ Late Mary Rhodes, now Thomas Whiten (C. Roll)  
 1781 House, Gregory to Robt Ladbroke, occ Thomas Whiten (CR1225)  
 1788 occ Mrs Boddington (Town maps)  
 1790 House, Ladbroke to John Tomes, occ Thomas Whiten (CR1225)  
 1804 House, John Tomes, occ Wm Tripass (C. Roll)  
 1806 House, J Tomes, occ W Trepass (Town maps)  
 1809 House, Tomes to Wm Pettifer, occ Late Wm Trepass now Pettifer (CR1225)  
 1821 House, Pettifer to Martha Garrett, occ late Pettifer, now Garrett (CR1225)  
 1824 House  
 1824 Rebuilt, Garrett to Henry Cooke, occ late Garrett, now empty (CR1225)  
 1824 House, Henry Cooke, occ Henry Cooke (C. Roll)  
 1842 House, Cooke's executors, occ J Cook (C. Roll)  
 1852 House, John Cook, occ John Cook (C. Roll)  
 1871 House, Thos Cook, occ Thos Cook (C. Roll)  
 1879 House, Cooke to Wm Robertson, occ Thomas Cooke (CR1225)  
 1881 Messuage (+ No 12), Robertson to Yardley, occ Buy or White (2163/4)  
 1883 House, J Yardley, occ Wm Robertson (C. Roll)  
 1891 House, Job Yardley, occ J H Belcher (C. Roll)  
 1900 House, S Yardley, occ W Billings (C. Roll)  
 1908 House, S Yardley, occ J Biddle (C. Roll)  
 1914 Messuage (+Nos 12 and 8A), Yardley to daughters, occ Elson or [?], Mrs Maycock (2163/4)  
 1916 House, S Yardley, occ W G Elson (C. Roll)  
 1924 House, Godden & Melen, occ W G Elson (C. Roll)  
 1929 Messuage (+Nos 12 and 8A), Yardley daughters to Raven, occ Elson or Spencer, Yeoman (2163/4)  
 1943 House, F Raven, occ D Elson (C. Roll)  
 1966 Messuage (+ Nos 12 and 8A), Raven to WCC, void, Owen (2163/4)  
 December 1966 Acquired by WCC (WCC Deeds 2163/4)

**12 to 18 Joyce Pool**

- 1482 2 cottages, Earl of Warwick, occ Littleton & Dixon (rental)  
 1569 Garden (etc.?), Richard Fisher, (1575 rental abuttal)

**12 Joyce Pool**

- 1694 House (4½ bays), Rev. John Biker, occ Job Rhodes, innholder (Farr)  
 1698 House, occ Jacob Brittain (C. Roll)  
 1715 3 houses, Sam'l Dowler to Mary Boddington, (R1225)  
 1749 1 house (late 3), Wm & Mary Boddington, occ Wm & Mary Boddington (CR1225)

- 1755 House, Widow Boddington, occ [blank] (C. Roll)  
 c.1775 House, Widow Boddington, occ Widow B. & Judd (C. Roll)  
 1782 3(?) houses, Wm Collins, occ Late Prescott and Boddington, now Heath & empty (CR1225)  
 1785 3 houses, Collins to Wm Morris, occ Widow Barnett, Widow Sanders, Wm Harding (CR1225)  
 1788 House, Mr Collins (Town maps)  
 1804 House, Wm Morris, occ Mrs Ward (C. Roll)  
 1806 House, John Morris, occ Mrs Ward  
 1808 2 houses (late 3), Wm Morris to Wm Hopkins, occ Widow Fort & Wm Hopkins (CR1225)  
 1821 1 house, Joseph Heritage, occ late Hopkins now Heritage (CR1225)  
 1824 House, Joseph Heritage, Henry Cooke (C. Roll)  
 1835 1 house, Heritage to Henry Cooke, occ late Perkins now empty (CR1225)  
 1842 House, H Cooke's executors, occ J Taylor (C. Roll)  
 1852 House, John Cook, occ John Bench (C. Roll)  
 1869 1 house, Thos Cooke, occ late Taylor, then Hudson, then Wallin, now James Oliver (CR1225)  
 1871 House, Thos Cook, occ Late Oliver (C. Roll)  
 1879 1 house, Thos Cooke to Wm Robertson, occ late Taylor, then Hudson, then Wallin, now George White (CR1225)  
 1881 Messuage (+ No 12), Robertson to Yardley, occ Buy or White (2163/4)  
 1883 House, J Yardley, occ G White (C. Roll)  
 1891 House, Job Yardley, occ F Jones (C. Roll)  
 1900 House, S Yardley, occ W Gardner (C. Roll)  
 1908 House, S Yardley, occ W Gardner (C. Roll)  
 1914 Messuage (+Nos 12 and 8A), Yardley to daughters, occ Elson or [?], Mrs Maycock  
 1916 House, S Yardley, occ J Spencer (C. Roll)  
 1924 House, Godden & Melen, occ J Spencer (C. Roll)  
 1929 Messuage (+ Nos 12 and 8A), Yardley daughters to Raven, occ Elson or Spencer, Yeoman  
 1943 House, F Raven, occ J Spencer (C. Roll)  
 1966 Messuage (+Nos 12 and 8A), Raven to WCC, occ [void], Owen  
 December 1966 Acquired by WCC (WCC Deeds 2163/4)

#### 14 Joyce Pool

- 1694 House (4 bays), Rev. John Biker, occ Wm Mathews comb maker (Farr)  
 1698 House, Thomas Mountford, C. Roll  
 1715, 3 houses, Sam'l Dowler to Mary Boddington, , CR1093  
 1749, 1 house (late 3), Wm & Mary Boddington, Wm & Mary Boddington, CR1093  
 1755, House , Wid. Boddington, Wid. Boddington, C. Roll  
 c.1775, House, Wid. Boddington, Wid. Boddington, C. Roll  
 1782, 3 houses, Wm Collins, Wm Heath & [?] , CR1093  
 1785, 4 houses, Collins to Wm Morris, Wid. Barnett, Wid. Sanders, Wm Harding, one untenanted, CR1093  
 1804, House, Wm Morris, Mrs Fort, C. Roll  
 1808, 2 houses, Wm Morris to Wm Hopkins, Wm Hopkins Wid. Fort, CR1093  
 1819, 1 house, Hopkins to Jn Bass, Jn Rainbow (late Fort), CR1093  
 1824, House, John Bass, Jas Billings, C. Roll  
 1830, 1 house, Jn Bass, Jn Bass, CR1093  
 1842, House, John Bass, M Bass, C. Roll  
 1847, 1 house, Jn Bass, Jn Bass & Dolphin, CR1093  
 1852, House, Lamb's estate, Fred. Clark, C. Roll  
 1856, 1 house, Jn Bass to Geo Stowe, Rd Broadway, CR1093

1871, House, Wm Stowe, Thos Herbert, C. Roll  
 1883, House, Wm Stowe, Thos Herbert, C. Roll  
 1891, House, W H Stowe, Thos Herbert, C. Roll  
 1900, House, W H Stowe, Thos Herbert, C. Roll  
 1901, 1 house, Stowe's executor to E M Herbert, E M Herbert, CR1093  
 1908, House, E M Herbert, E M Herbert, C. Roll  
 1916, House, H S G Herbert, H S G Herbert, C. Roll  
 1924, House, H S G Herbert, H S G Herbert, C. Roll  
 1943, House, H S G Herbert, H S G Herbert, C. Roll  
 1967, House, M L Herbert to WCC, , CR1093  
 May 1967 Acquired by WCC (WCC Deeds 2163/1)

### 16 & 18 Joyce Pool

1694 House (4 x 2 bays), Rev. John Biker, occ Widow Manwhinick innholder (Farr)  
 1698 House, occ Thomas Gazey (C. Roll)  
 1711 Tenement, James Fish, occ Late Mary Ashby, now Thos Gearie (CR 1453/bdle 631)  
 1740 Little house, James Fish's will, occ S Clemens, widow, previously Jn Sydnall and then Mary Ashby (CR 127)  
 1751 Little house, Fish devisees to S Clemens (widow), occ S Clemens (CR 127)  
 1755 House, Widow Clemens, occ Wid. Clemens (C. Roll)  
 1764 House, T Clemens to H Clemens, occ Henry Clemens (CR 127)  
 c.1775 House, Henry Clemens, occ Henry Clemens (C. Roll)  
 1804 House, Henry Clemens, occ Henry Clemens (C. Roll)  
 1815 House, Mortgage of rebuilt Messuage by Jn Clemens, occ John Clemens (CR 127)  
 1823 House, Arnold to S Clemens, occ Susannah Clemens? (CR 127)  
 1824 House, John Arnold, occ John Arnold (C. Roll)  
 1831 House, S Clemens to S Humphriss (CR 127)  
 1841 House, Humphriss's executors to Wm Horne, occ Wm Horne (late Pritchard Smith), (CR 127)  
 1842 House, W B Perkins, occ W B Perkins (C. Roll)  
 1852 House, Wm Horne, occ Wm Horne (C. Roll)  
 1870 2 houses, Horne's widow (Mrs Durham) to Thos Jeacock, occ Late Durham and Henry Gardner (CR 127)  
 1871 House, Thos Jeacock, occ Thos Jeacock (C. Roll)  
 1870 2 houses, Jeacock's liquidator to Ben. Skilton, occ late Jeacock and Alick Peace (CR 127)  
 1883 House, B Skilton, occ B Skilton (C. Roll)  
 1889 2 houses, B Skilton to Jn Eborall, occ Alick Peace, John Eborall (2163/3)  
 1891 House, J Eborall, occ J Eborall (C. Roll)  
 1900 House, J Eborall, occ J Eborall (C. Roll)  
 1908 House, J Eborall, occ Eborall & Yeomans (C. Roll)  
 1916 House, J Eborall, occ Dodd & Yeomans (C. Roll)  
 1916 2 houses, Eborall to Kate Eborall (2163/3)  
 1924 House, Eborall executors, occ H W Corbett (C. Roll)  
 1926 2 houses, Eborall executors to Mark Pettipher (2163/3)  
 1943 House, M Pettipher, occ N Hewings (C. Roll)  
 1967 2 houses, Pettipher to WCC (2163/3)  
 February 1967 Acquired by WCC (WCC Deeds 2163/2)

### 20 Joyce Pool

1482 Cottage, Heirs of Jn Weston, 12d. chief rent (rental)  
 1558 Tenement, St Nicholas' Church, occ Geo Herryettes (DR87/1)  
 1575 Ten., St Nicholas' Church (12d. chief rent), occ Geo Herryettes (rental)

- 1582 occ Michael Herryet (SGW)  
 1586 occ George Herryet (SGW)  
 1590 Cottage, St Nicholas' Church (12d. chief rent), occ George Harret (SGW)  
 1619 Cottage, St Nicholas' Church (12d. chief rent), occ Rd Overton (rental)  
 1641 Ten., St Nicholas' Church (12d. chief rent), occ Late Warren Overton (rental)  
 1635 St Nicholas' Church, occ Nathaniel Hobson (CR 2981)  
 1652 occ J Overton (SGW)  
 1660 occ Widow Overton (SGW)  
 1661-1692 St Nicholas' Church, occ Wid. Overton, then successively Richard Hadley, Warren Overton, Henry Garrett (DR 87/2)  
 1696 House etc, occ H Garrett (SGW)  
 1698 occ Henry Garrett (C. Roll)  
 1699-1704 House, St Nicholas' Church, occ Henry Garrett (DR67/2)  
 1704-1716 House, St Nicholas' Church, occ Capt John Williams (DR67/2)  
 1715, House, St Nicholas' Church, occ Widow Roads (DR67/2)  
 1755-1871 St Nicholas' Church, occ John Roads then successively Watson, John Docker, M Chaplin, Wm Davies, Widow Davies (C. Roll, Town maps)  
 1878 Messuage etc., St Nicholas' Church to John James Bass, occ Susan Davies (WCC2163/2)  
 1883 Ann Bass, occ Ann Bass (C. Roll)  
 1891 Ann Bass, occ Ann Bass (C. Roll)  
 1900 F Nevill [sic], occ F Nevill (C. Roll)  
 1905 Messuage etc., Ann Bass to Mrs M A Knight, occ Moore (WCC2163/2)  
 1908 Ann Bass, occ Charles Mills (C. Roll)  
 1914 Messuage etc., Mrs M A Knight, occ Charles Mills (WCC2163/2)  
 1916 Messuage etc., Mrs M A Knight, occ Mr & Mrs Knight (WCC2163/2)  
 1916 Mrs M A Knight, occ Mrs M A Knight (C. Roll)  
 1924 J H Knight, occ J H Knight (C. Roll)  
 1943 Knight's executors, occ Mrs Knight (C. Roll)  
 1965 Messuage etc, Forresters' Friendly Soc, occ Warwick Borough (WCC2163/2)  
 1967 Messuage etc, Warwick Borough, occ WCC (WCC2163/2)  
 February 1967 Acquired by WCC (WCC Deeds 2163/2)

#### **Plots C-E (Cottage between Stonehouse & 20 Joyce Pool, later part of Bridewell)**

- 1482 Cottage, Heirs of Jn Weston, 1s. chief rent (rental)  
 1575 Cottage, William Ives, 1s. chief rent, occ Michael Tyner (rental)  
 1586 House, occ Michael Tyner (Communicants list)  
 1619 Cottage & small gdn, John Fetherston, 1/- chief rent (rental)  
 1641 Messuage, Wm Fetherston, 1/- chief rent, occ Richard Green (rental)  
 1677 Messuage & land, Thos Fetherston, occ John West (CR 1097)  
 1690 Messuage & land, Thos Fetherston, occ John West (CR 1097)  
 1698 House, occ Henry Clemens (C. Roll)  
 1704 House, occ Henry Clemens (Rate book)  
 1707 House, Thos Fetherston, 1/- chief rent, occ "West's house", (rental)  
 1714 Messuage & land, Thos Fetherston, occ Henry Clemens (CR 1097)  
 1739 Messuage & land, Christopher Wright, occ Rogers (CR 1097)

[Original cottage probably demolished in 1630s and became part of the Stonehouse]

#### **Plots C-E (Stonehouse, later part of Bridewell)**

- 1482 Messuage & 2 cot's, Heirs of Jn Weston, 3/4d chief rent (rental)  
 1572 Mansion House, William Ives (will), occ William Ives (CR1886/bx577/2)  
 1575 Burg. & 2 cot's, William Ives, 3/4d chief rent, occ William Ives (rental)  
 1579 Mansion House, Wm Fetherston as executor of Wm Ives (CR1886/bx577/2)  
 1619 Tenenemt, barn, stable etc, John Fetherston, 3/4d chief rent (rental)

- 1633-1635 New stone house, Wm Fetherston (CR2981)  
 1641 Messuage, Wm Fetherston, 3/4d chief rent, occ Wm Green [sic] (rental)  
 1645 House, Wm Fetherston, occ Edw Wagstaffe and Eliz Fetherston, widow (CR2981)  
 1647 House (late 2 ten's), Wm Fetherston, occ Late Wagstaffe (CR2981)  
 1707 The Stonehouse, Thos Fetherston, 3/4d chief rent (rental)  
 1715 House, William Addington (CR3065)  
 1753 Messuage etc. called the Stonehouse, Heirs of Wm Addington to Wm Madew, occ Late William Fetherstone, gent., since of William Addington, then Rev'd William Rogers, clerk, now untenanted (CR1103)  
 1755 House, William Madew, occ William Madew (C. Roll)  
 1775 Messuage etc. called the Stonehouse, Jn & Elizabeth Tinker (daughter of W Madew) to Francis Hiorn, occ Jn Tinker (CR1103)  
 c.1775 House, Francis Hiorn, occ Rd Clark & others (C. Roll)  
 1783 Site of the Stonehouse, Francis Hiorn to County, Empty (house demolished) (QS minutes)  
 1804-1871 House, County, Bridewell (C. Roll)  
 1883 on, House, County, occ Police (C. Roll)

### *Saltisford (south-west side)*

#### **1 to 31 Saltisford (and Plot F garden)**

- 1569 Waste, Copyhold lease granted to Owen Marcliffe (1575 rental)  
 1575 Waste & house, Owen Marcliffe (copyhold), occ Owen Marcliffe (1575 rental)  
 1615 Waste & 9 bays, Richard Tandy, occ Richard Tandy & others (1615 inq)  
 1619 Waste & 6 cottages, Richard Tandy (1619 rental)  
 1630 Waste & cottages, Copyhold lease to Oliver Brookes, sub-let to Henry Goodcheape (CR 1886/ 6993, 6995)  
 1641 Waste & 6 cottages, Henry Goodcheape (1641 rental)

#### **1 to 7 Saltisford**

- 1707 waste, Copyhold lands in possession of Robert Bromley and Thomas Hoggins (rental)  
 1788 houses, Mr Dale and Mr Briscoe (Town maps)  
 1806 4 houses, John Banner, occ Hyde & others (Town maps)  
 1839 4 messuages, Hannah & Hannah Banner, occ Ann Parsons, Joseph Adams, William Nash and Widow Bissell (WCC deeds)  
 1843 4 messuages, occ Ann Parsons, William Nash, Widow Bates and Widow Bissell (WCC deeds)  
 1877 4 messuages, Samuel James Banner Bloxside to Richard Collis, occ John Muckley, Elizabeth Osborn, Henry Makepeace and M A Parsons (WCC deeds)  
 1912 4 messuages, Mabel Fanny Mary Robinson to Harvey Hunt, occ Messrs Mayo, Harvey, Bench and Rose (WCC deeds)  
 1956 Site of 4 messuages, F W Hunt and W H Hunt to A J Baldwin and F D Jeffries (WCC deeds)  
 1962 Site of 4 messuages, A J Baldwin and F D Jeffries to Maney House Investments (WCC deeds)  
 1968 Site of 4 messuages, Maney House Investments to Warwick Town Council (WCC deeds)  
 April 1972 Acquired by WCC (WCC Deeds 2163/7)

#### **9 & 11 Saltisford**

- 1753 2 cottages, Abraham Hancox, occ Abraham Hancox (SGW)

1776 2 cottages, Abraham Hancox, occ Thos Job and Parsons (CR 1453/bdle 150; CR 1103 abuttal)  
 1785 ground, George Hancox (CR 1097 abuttal)  
 1788 houses, George Hancox (Town maps)  
 1795 2 cottages, George Hancox, occ G Hancox & Jos. Kettle (CR 1453/bdle 150)  
 1806 2 houses, John Morris, occ Chapel & Patson (Town maps)  
 1839 Land, John Morris, Abuts No 13  
 1877 Land, John Morris, Abuts No 13  
 1912 Land, Late John Morris, Abuts No 13  
 1959 Land formerly 2 cottages, Robert Morris Collier's trustees to A J Baldwin and F D Jeffries (WCC deeds)  
 1962 Land formerly 2 cottages, A J Baldwin and F D Jeffries to Maney House Investments (WCC deeds)  
 1968 Land formerly 2 cottages, Maney House Investments to Warwick Town Council (WCC deeds)  
 April 1972 Acquired by WCC (WCC Deeds 2163/7)

### 13 to 31 Saltisford

1707 Waste, John Parry (1707 rental)  
 1708 Waste, John Parry (1708 suit roll)  
 1711 Waste, Mr Bradshaw (1711 suit roll)  
 1739 Waste, John Bradshaw (CR 1097)  
 1742 Waste, Mr Bradshaw (rental)  
 1745 Rd Bradshaw to Thomas Lattimer (WCC deeds)  
 1765 Thomas Lattimer to Henry Baylis (WCC deeds)  
 1788 Houses, malthouse & garden, Mr Baylis (Town maps)  
 1800 Henry Baylis's heirs to Henry Southam (WCC deeds)

### 13 to 29 Saltisford

1800 7 cottages, Henry Southam to Joseph Southam, occ Richard Walton, Charles Job, John Hyde, Francis Lapworth, Thomas Spencer, John Tenant and Edmund Charlotte (WCC deeds)  
 1808 7 cottages, Joseph Southam, occ Woodfield, Richard Walton, Smith, Milles, Coles, Francis Lapworth and Thomas Spencer (WCC deeds)

### 13 to 21 Saltisford

1811 4 cottages, Joseph Southam's heirs to James Banner, occ Francis Lapworth, Thomas Spencer, John Coles and William Mills (WCC deeds)  
 1839 5 messuages, Hannah & Hannah Banner, occ Jones, William Daniel and Charles Russell and two void (WCC deeds)  
 1843 messuages, occancis Richard, Charles Russell and three void (CC deeds)  
 1877 messuages, Samuel James Banner Bloxsidge to Richard Collis, occ Thomas Blundell, Walter Penn, John William Steel, Charlotte Steel and Joseph Jackson (WCC deeds)  
 1912 5 messuages, Mabel Fanny Mary Robinson to Mrs Mary Ann Boyes, occ James Smith, Alfred G Callender, Mrs Allen, William Lawrence and Henry Arch (WCC deeds)  
 1922 5 messuages, Mrs Mary Ann Boyes to Mary Cowley, occ James Smith, Alfred G Callender, Mrs Allen, William Lawrence and Henry Arch (WCC deeds)  
 1962 5 messuages, Benjamin Randoff Arthur Cowley to Maney House Investments (WCC deeds)  
 1968 5 messuages, Maney House Investments to Warwick Town Council (WCC deeds)  
 April 1972 Acquired by WCC (WCC Deeds 2163/7)

**23 & 25 Saltisford**

- 1811 Cottage, Joseph Southam's heirs to Samuel Smith (WCC deeds)  
 1826 Cottage, Wm Smith to Elizabeth Facer, Void (late occ Sam & Mary Smith) (WCC deeds)  
 1857 2 cottages, Mary Ann Perkins to Matthew Lapworth, occ Robert Bromage and William Hardiman (WCC deeds)  
 1877 2 cottages, Matthew Lapworth to Charlotte Jane Lapworth, occ George Wilkins and John Allcock (WCC deeds)  
 1886 2 cottages, Charlotte Jane Whittle's trustees to George Robert Cooke, occ George Wilkins and John Allcock (WCC deeds)  
 1962 2 cottages, George Robert Cooke's administrators to Maney House Investments (WCC deeds)  
 1968 2 messuages, Maney House Invest. to Warwick Town Council (WCC deeds)  
 March 1975 Acquired by WCC (WCC Deeds 2615)

**27 & 29 Saltisford**

- 1811 2 cottages, Joseph Southam's heirs to Charles Pratt, occ Richard Walton and Samuel Woodfield (WCC deeds)  
 1839 2 cottages, Pratt's devisees to Twist Gibson & Twist, occ Thomas Mills and John Rogers (WCC deeds)  
 1854 2 cottages, Twist & Gibson, occ George Wilkins and Daniel Hunter (WCC deeds)  
 1863 2 cottages, Twist & Gibson, occ Woodfield and Durant (WCC deeds)  
 1886 2 cottages, Twist & Gibson devisees to Wm Mills, occ Robert Harvey and William Cook (WCC deeds)  
 1886 2 cottages, Wm Mills to Edward Goode, occ Robert Harvey and William Cook (WCC deeds)  
 1902 2 cottages, M A Goode to H L Street, occ Henry Woodfield and Mrs Savage (WCC deeds)  
 1906 2 cottages, H L Street to G. Walton, occ Henry Woodfield and Mrs Savage (WCC deeds)  
 1934 2 cottages, E A Walton's rep.'s to H J P Walton (WCC deeds)  
 1941 2 cottages, H J P Walton to E H S Gopsill (WCC deeds)  
 1951 2 cottages, E H S Gopsill to C G Salter (WCC deeds)  
 1971 2 cottages, C G Salter's agent to Warwick Town Council (WCC deeds)

**31 Saltisford**

- 1806 House, Henry Southam, occ Henry Southam (Town maps)  
 1841-1851 House, occ Thomas Pratt maltster (census)  
 1851 House, Thomas Pratt, Thomas Pratt maltster (DR 126/622, rate)  
 1861-1871 House, occ Thomas Pratt, maltster, census  
 1881 House, occ Jane Pratt maltster (census)  
 1886 House, T H Pratt mortgage to Ann Hudson (WCC deeds)  
 1894 House, Ann Hudson to Edw. Wise, occ T H Pratt (WCC deeds)  
 1957 House, Wise trustees, occ Mrs Schofield (WCC deeds)

**Plot F (Garden between 31 Saltisford and the Stonehouse, later part of Bridewell)**

- 1677 Land, Charles Goodcheape (CR 1097)  
 1690 Land, William Lingham (CR 1097)  
 1714 Land, Late William Lingham (CR 1097)  
 1739 Land, John Bradshaw senior (CR 1097)  
 1745 ?, Rd Bradshaw to Thomas Lattimer (WCC deeds)

- 1765 ? , Thos Lattimer to Henry Baylis (WCC deeds & CR 1103)  
 1776 Toft (site of 2 cottages), Henry Baylis to Francis Hiorne, occ Thomas Bird (CR 1103)  
 1779 Garden, Francis Hiorne (CR 3065/3)  
 1788 Garden, Francis Hiorne (Town maps)  
 1798 Garden, Devisee of E S Hiorne to County, occ Edward Hiorne (CR 3065/3)

### **West Rock**

#### **1 West Rock**

- 1694 Cottage etc, Lease by Wm Bolton to Thomas Farr, mason, 3/4d rent, (CR1886/8846)  
 1752 Cottage etc, Lease by Ld Brooke to Henry Adkins, tailor (late Farr), 3/4d rent (CR1886/7508)  
 1778-1802 House, Earl of Warwick (Henry Adkins), 3/4d rent (Rentals)  
 1788 Cottage etc, Earl of Warwick (Town maps)  
 1806 Cottage etc, Earl of Warwick, occ Henry Adkins (Town maps)  
 1812 House, Earl of Warwick (Henry Adkins), 3/4d rent (Rentals)  
 c.1829-1861 House, Joseph Adkins, occ Joseph Adkins (described as tailor from 1851) (census, CR 237/36/14 & 16)  
 1869 Messuage etc, John Adkins, occ Late John Adkins (CR 237/36/29)  
 1871 House, occ Thos Briscoe, tailor (census)  
 1881, 1883 House, occ Thos Jeacock, carpenter (census, Spennell's)  
 1886-1895 House, occ Charles Humphriss, wood carver (census, Spennell's)  
 1901 House, occ Wm Lapworth, labourer (census)  
 1905 House, occ G Rye, Prison Gate & Police Court Missioner (Spennells)  
 1910 House, occ Christopher Jones, dealer (Spennells)  
 1915 House, occ Frank Gibbs, coal dealer (Spennells)  
 1920 House, occ George Howlett, greengrocer (Spennells)  
 1927 House, occ Mrs Howlett, greengrocer (Spennells)  
 1930 House, occ Mrs Phipps (Spennells)  
 1940 House, occ Mrs Phipps (Spennells)  
 1945-1953 House, occ Lawrence Lyons (Spennells)

### **Area C, East of Northgate Street, Northgate and The Butts** (Fig 46)

#### **2 Northgate Street** (WCC Deeds 428)

- 1482 Messuage, St Mary's, occ Clement Smythe, canon (Abuttal in Rental)  
 1582 occ Thomas Olney (SGW)  
 1586 House, occ Mr Jn Palmer (communicants)  
 1619 Tenement, Sir Thomas Beaufoy, occ Rowland Ward, chief rent 1/-  
 1626 Messuage, Thomas Beaufoy to James Prescott, occ Rowley Ward (CR1886/4986)  
 1641 Ten., James Prescott, occ Ed. Rainsford, chief rent 1/-  
 1662, 1674, occ Job Rainsford, 7 hearths (Hearth Tax)  
 1694 Messuage, Mrs Prescott, occ Job Rainsford, attorney, front 8 bays, rear 4 (Fire Records)  
 1695 Toft & burnt Messuage, Prescott family to Job Rainsford (CR3065/428)  
 1696 Messuage (rebuilt), Job Rainsford, occ Job Rainsford (Fire Records)  
 1698 House, Job Rainsford (Commoners Roll)  
 1702 Messuage, Job Rainsford (settlement), occ Job Rainsford (CR3065/428)  
 1707 Messuage, Job Rainsford, occ Job Rainsford, chief rent 1/-  
 1724-1725, House, occ Dr Hewett (SWG)

- 1735 Job Rainsford dies (CR3065/428)  
 1735 Messuage, Rainsford heirs (mortgage), occ Dr Thomas Hewitt (CR3065/428)  
 1736 Messuage, Rainsford heirs lease, occ Dr Thomas Hewitt (CR3065/428)  
 1736 Messuage, Rainsford heirs to Rd Wright, occ Dr Thomas Hewitt (CR3065/428)  
 1744,1748, House, Rd Wright (chief rent, SGW)  
 1755 House, Rd Wright, occ Rd Wright (Commoners Roll)  
 c.1775 House, Rd Wright, occ Rd Wright (Commoners Roll)  
 1777 Messuage, Rd Wright leaves his estate to his granddaughter, Maria Landor (CR3065/428)  
 1788 Messuage, Maria Landor's settlement on marriage to Humphrey Arden, occ Late Rd Wright, now Mrs Shuckburgh, widow (CR3065/428)  
 1804 House, Humphrey Arden, occ Mrs Shuckburgh (Commoners Roll)  
 1806 House, Humphrey Arden, occ Miss Shuckburgh (Town Maps)  
 1809 Maria Landor's will proved (CR3065/428)  
 1816 Messuage, etc., Landor trustees to Sarah Belcher, occ Late Mrs Shuckburgh and her daughters (Mary S. & Mrs Bird), then Rev J R Holden, now Sarah Belcher (CR3065/428)  
 1824 House, Jn Brookes, occ Jn Brookes (Commoners Roll)  
 1832 Messuage etc., Mortgage by Jn Brookes, occ Late Belcher now Sarah Brookes (CR3065/428)  
 1841 House, occ Mrs Belcher, ind. (census)  
 1842 House, Mrs Brookes, occ Mrs Belcher (Commoners Roll)  
 1847 Messuage etc., Brookes trustees to John Moore, occ Late Sarah Brookes now Jn Moore (CR3065/428)  
 1851-1891 House, John Moore, occ John Moore estate agent & surveyor, JP, alderman (censuses, Commoners Rolls)  
 1891 House, Jn Moore, occ Jn Moore & F H Moore (Commoners Roll)  
 1891 House, Purchase by F H Moore from his father's estate (CR3065/428)  
 1900-1924 House, F H Moore, occ F H Moore (architect) (census, Commoners Rolls)  
 1924 F H Moore dies (CR3065/428)  
 1933 Messuage etc., Moore trustees to WCC, occ Late Miss Mary Moore (d. 1933) (CR3065/428)  
 December 1933 Acquired by WCC for £875 from Trustees of will of F H Moore

#### 4 Northgate Street (WCC Deeds 113)

- 1482 Tenement, occ Thomas Shawe (Rental)  
 1575-1586 Ten., occ Jn Biker (Rental, Bk J Fisher, communicants)  
 1590 Ten., Lewis Biker (Survey)  
 1619 Ten., Jn Biker, occ W Banwell (rental)  
 1626 Ten., Jn Biker, clerk (abuttal)  
 1641 Ten., Jn Biker, occ Thos Dugard (rental)  
 1662-1663 House, occ Thomas Wise, 4 hearths (Hearth Tax)  
 1664-1673 House, occ Thomas Wise, 5 hearths (Hearth Tax)  
 1694 House, Thomas Wise attorney, occ Thomas Wise, 5 bay front, 3 bay back (Fire records)  
 1698 House, Mrs Wise (widow), Now building (Commoners Roll)  
 1700-1702, House, occ Thomas Wise (Poor Rate)  
 1704 House, occ Mrs Wise (Poor Rate)  
 1705 Messuage etc., Joseph Evitts, occ Anne Worcester (CR1908/121)  
 1706 Messuage etc., Settlement after marriage of Rebecca Wise to Joseph Evitts, occ Late Rebecca Wise (the mother) (WCC 2/113)  
 1707 Messuage, Joseph Evitts, Chief rent 2/-  
 1712 Messuage etc., Joseph & Rebecca Wise, occ Mosse, widow (D19/776)  
 1712 Messuage etc., Joseph & Rebecca Wise (WCC 2/113)  
 1755 House, Henry Archer, occ Rev Watton (Commoners Roll)

- c.1775 House, Lady Archer, occ Mrs Austin (Commoners Roll)  
 1781 Messuage etc., Lady Archer (reversion sold by M Smithson to Earl of Warwick), occ Mrs Halstead (CR 1886/bx519)  
 1782 Messuage etc., Lady Archer to Earl of Warwick (lease), occ Eliz. Whitehead (CR 1886/bx543)  
 1786 Messuage etc., Earl of Warwick to Wm Sanders, occ Late Mrs Halstead now Mrs Whitehead, widow (WCC 2/113)  
 1787 Messuage etc., Wm Sanders to Maria Landor, occ Late Mrs Halstead now Mrs Whitehead, widow (WCC 2/113)  
 1788 House, occ ? (map)  
 1804 House, Humphrey Harding [Arden], occ Mrs Cook (Commoners Roll)  
 1806 House, Humphrey Arden, occ Mrs Cooke (map)  
 1810 Messuage etc., Landor trustees to Mary Pritchard, Late Mrs Halstead then Mrs Whitehead, widow, now Hannah Cooke, widow (WCC 2/113)  
 1824 House, Mrs Pritchard, occ Mrs Pritchard (Commoners Roll)  
 1833 Messuage etc., Mary Pritchard to Wm Muckley, occ Late Mrs Pritchard now Wm Muckley (WCC 2/113)  
 1841 House, Wm Muckley, occ Wm Muckley, Relieving Officer (1841) schoolmaster (1851) commission agent (1861) (censuses, Commoners Rolls)  
 1871, Messuage etc., E F Prickett to James Prickett, Late Mrs Pritchard, now Wm Muckley (WCC 2/113)  
 1861 House, occ James Prickett, dispenser (census)  
 1871 House, James Prickett, occ Late Wm Muckley then Dorothy Muckley now Jas Prickett (Commoners Roll)  
 1880 Messuage etc., James Prickett to Rev T B Dickens, Late Wm Muckley now Rev Jn Gibson (WCC 2/113)  
 1881 House, occ Ann & Mary Johnson, lodging house keeper (census)  
 1883 House, Rev T B Dickens, occ Ann & Mary Johnson (Commoners Roll)  
 1891 House, occ Ann Johnson, lets apartments (census)  
 1891 House, Rev T B Dickens, occ Annie Harriet Johnson (Commoners Roll)  
 1895 Messuage etc., Rev T B Dickens to Rev Hubert Handley, occ Miss Johnson (WCC 2/113)  
 1900-1916 House, Hubert Handley, occ Miss Annie Johnson, lodging house keeper (census, Commoners Rolls)  
 1924 House, Rev Herbert Handley to WCC, occ Miss Annie Johnson (Commoners Roll)  
 1932 Messuage etc., Rev T B Dickens to Rev Hubert Handley, [Miss Johnson died in 1932] (2/113)  
 July 1932 Acquired by WCC for £600 from Rev H Handley  
 1943 House, WCC, occ Jas Brigge (Commoners Roll)

### 6-12 Northgate Street

- 1424-1471 Tenement, Thomas Hugford (College rents)  
 1474 Ten., John Hugford, occ Robt Frankelyn, mason (Styles)  
 1482 Messuage, John Hugford (rental)  
 1484 Ten., John Hugford, occ Widow of Robt Frankelyn (Styles)  
 1490/1 Ten., John Hugford (College rent)  
 1507/8 Ten., Gerard Danet (College rent)  
 c.1540-1547, Ten., Lewis Smart (College rent)  
 1575 Messuage, Lionel Croft, occ Philip Cooper (rental)  
 1619 Messuage, Wm Hopkins, occ Wm Hopkins (rental)  
 1641 2 small ten's, Thos Shakespeare, occ Thos Turpin (rental)

### 6 Northgate Street (WCC Deeds 171)

- 1694 House, John Watts, flaxman, occ John Burnill, tailor, Front 3 bay (Fire records)

- 1703 Messuage etc., John Watts, occ Henry Smith (Fire records, 103)  
 1719 Messuage etc., John Watts to Job Rainsford, occ Late Henry Smith now Job Rainsford (WCC3/171)  
 1736 Messuage etc., Rainsford heirs to Thomas Abbott, occ Jn & Ann Smithson (J Rainsford's daughter) (WCC3/171)  
 1739 Messuage etc., Thomas Abbott, occ Mary Du Commin (mother-in-law) (WCC3/171)  
 1755 House, Widow Abbott, occ Wid. Abbott (Commoners Roll)  
 c.1775 House, Mr Abbotts, occ Mr Eberall (Commoners Roll)  
 1788 House, Mr Abbotts (Town maps)  
 1806 House, Mrs Abbotts, occ Mrs Parsons (Town maps)  
 1804 House, Mr Abbotts, occ Mrs Parsons (Commoners Roll)  
 1807 Messuage etc., Abbott heirs to Wm Tibbits, occ Late Mary Du Commin then Joseph Eborall then Jas Dyer now Parsons, widow (WCC3/171)  
 1824 House, Wm Tibbits, occ Miss Bayliss (Commoners Roll)  
 1841 House, occ Samuel Redfern, plasterer (census)  
 1842 House, Wm Tibbits, occ Samuel Redfern (Commoners Roll)  
 1851 House, occ Samuel Redfern, plasterer, employs 4 men (census)  
 1852 House, Geo. Tibbits, occ Wm Redfern (Commoners Roll)  
 1871 House, occ J W Newcomen, grocer/tea dealer (census)  
 1871 House, Geo. Tibbits, occ J W Newcomen (Commoners Roll)  
 1873 Messuage etc., Ann Tibbits, occ Late J W Necommen now empty (WCC3/171)  
 1874 Messuage etc., Ann Tibbits' executor to John Purser, occ John Purser (WCC3/171)  
 1881-1891 House, John Purser, occ John Purser, fishmonger (censuses, Commoners Rolls)  
 1891-1916 House, Eliza Purser, occ Eliza Purser (widow, private income, 1901) (censuses, Commoners Rolls)  
 1919 Messuage etc., W B Purser to WCC (WCC3/171)  
 June 1919 Acquired by WCC for £600 from W B Purser  
 1924 House, WCC, occ WCC (Commoners Roll)  
 1943 House, WCC, occ WVS (Commoners Roll)

### 10-12 Northgate Street

- 1694 House (*The Crown*), John Watts, occ Sam Parsons, innholder, Front 7 bay, rear 17 bay (Fire records)  
 1698 *White Lion*, George Watts (Commoners Roll)  
 1714 Messuage etc., George Watts (CR556/587)  
 1718 Messuage etc., George Watts to John Watts, occ George Whadcock (CR556/587)  
 1719 Messuage, etc. (*White Lion*), John Watts to George Whadcock, innholder, occ George Whadcock (CR556/587)  
 1734 Messuage etc. (*White Lion*), Avery Whadcock (CR556/587)  
 1735 Messuage etc., Rd Whadcock (CR556/587)  
 1755 House, Widow Rogers, occ Samuel Thomas (Commoners Roll)

### 10 Northgate Street (WCC Deeds 170)

- 1772 Messuage etc. (pt of former *White Lion*), Thomas Hicks, occ Late Francis Barr now Elizabeth Barr, widow (CR556/587)  
 1773 Messuage etc., Thomas Hicks, occ Late Elizabeth Barr, now Harris (CR556/587)  
 1773 Thomas Hicks devises property to his daughter, Margaret (CR556/587)  
 c.1775 House, occ Thomas Harris (Commoners Roll)  
 1775 Messuage etc., Chas and Margaret Westley (daughter of Thomas Hicks) (CR556/587)

1789 Messuage etc., Chas Westley to trustees for creditors, occ Tibbits (CR556/587)  
 1793 Messuage etc., Trustees to Wm Tibbits, occ Wm Tibbits (CR556/587)  
 1804-1842 House, Wm Tibbits, occ Wm Tibbits (ind. 1841) (census, Commoners Rolls, WCC 170)  
 1851 House, occ Wm Palmer, annuitant (census)  
 1852 House, George Tibbits, occ Wm Palmer (Commoners Roll)  
 1854 Messuage etc., Tibbits heirs to George Tibbits, occ Late Wm Tibbits now Wm Palmer & Jas Tibbits (WCC 170)  
 1864 Messuage etc., George Tibbits, occ Wm Hannay (WCC 170)  
 1871 House, occ Ann Hortin, widow (census)  
 1871 House, George Tibbits, occ Ann Hortin (Commoners Roll)  
 1879 Messuage etc., George Tibbits to Hubert Handley, occ Late Mrs Hortin now Chas Handley (WCC 170)  
 1881,1882 House, occ Chas Handley & Hubert Handley, solicitors (census, WCC 170)  
 1883 House, Hubert Handley, occ C & H Handley (Commoners Roll)  
 1891 House, occ H J Brown, solicitor (census)  
 1891-1900 House, Hubert Handley, occ H J Brown (Commoners Rolls)  
 1901 House, Void (census)  
 1908 House, Hubert Handley, occ Rev Day & W Sanderson (Commoners Roll)  
 1914 Messuage etc., Rev. Hubert Handley to WCC (WCC 170)  
 June 1914 Acquired by WCC  
 1916 House, WCC, occ C J Chadwick (Commoners Roll)  
 1923-1943 House, WCC, occ WCC (Commoners Rolls)

## 12 Northgate Street (WCC Deeds 89)

1772 Messuage etc. (pt of former White Lion), Thomas Hicks, occ Abigail Goodwin (CR556/587)  
 1773 Messuage etc., Thomas Hicks, occ Abigail Goodwin (CR556/587)  
 1773 Thomas Hicks devises property to his daughter, Margaret (CR556/587)  
 c.1775 House, occ Mrs Goodwin (Commoners Roll)  
 1775 Messuage etc., Chas and Margaret Westley (daughter of Thomas Hicks), occ Abigail Goodwin (CR556/587)  
 1789 Messuage etc., Chas Westley to trustees for creditors, empty (CR556/587)  
 1793 Messuage etc., Trustees to Ann Birch & Joseph Birch, occ Ann Birch or Joseph Birch (WCC 2/89)  
 1793 Messuage etc., Trustees to Ann Birch & Joseph Birch, occ Ann Birch or Joseph Birch (WCC 2/89)  
 1804-1824 House, Joseph Birch, occ Joseph Birch (Commoners Rolls)  
 1839 Messuage etc., Trustees of Joseph Birch (d. 1836) to County, occ Late Joseph Birch (WCC 2/89)  
 October 1839 Acquired by T Wilmot, Clerk of the General Meetings of the Lieutenancy of the County under S102 Militia Act 1802 for £900 from Messrs J Russell, G Harris & E Tunes (Vested in WCC by virtue of Local Govt Act 1888)  
 1841-1908 House, County (WCC from 1891), occ Wm Egerton (army) then successively Capt Brockman, Thos Cassan, Capt Edw. Edwards, Capt F L Grundy, Capt Ray (RWR), Sgt Maj John Foley (Warw. yeomanry) (censuses, Commoners Rolls)  
 1851 Warwickshire Militia Store to rear  
 1916-1943 House, WCC, occ WCC (Commoners Rolls)

## 14 Northgate Street (WCC Deeds 89)

1482 Cottage (rental)  
 1670-1673 House, occ Thomas Rush (Hearth Tax)

- 1694 House, Mary Wagstaff (Elias Webb), occ Thomas Rush, Front 2½ bay, rear 1 bay (Fire records)
- 1698 House, occ Thomas Rush (Commoners Roll)
- 1719 House, occ Late Thomas Rush now Thos Garner (CR556/587 abuttal)
- 1741 Messuage, Elias Webb, occ Joseph Waring (CR3065)
- 1755 House, Thos Webb esq., occ Joseph Waring (Commoners Roll)
- c.1775 House, Mrs Webb, occ Thomas Masters (Commoners Roll)
- 1798 Messuage, Rev Elias Webb, occ Thomas Masters (CR3065)
- 1803 Messuage etc., Rev Elias Webb to Jn Tomes, occ Thomas Armstrong (WCC 2/89)
- 1804 House, Jn Tomes, occ Thomas Armstrong (Commoners Roll)
- 1813 Messuage etc., Jn Tomes to Joseph Birch, occ Thomas Armstrong (WCC 2/89)
- 1824 House, Joseph Birch, occ Edward Day (Commoners Roll)
- 1839 Messuage etc., Trustees of Joseph Birch (d. 1836) to County, occ Late Edward Day now empty (WCC 2/89)
- October 1839 Acquired by T Wilmot, Clerk of the General Meetings of the Lieutenancy of the County under S102 Militia Act 1802 for £900 from Messrs J Russell, G Harris & E Tunes (Vested in WCC by virtue of Local Govt Act 1888)
- 1841-1908 House, County (WCC from 1891), occ John Letman (army) then successively Capt Brockman, Thos Cassan, W P Boden (Serg't Instructor), W P Boden, Wm Hannaford (Serg't Instructor), T Hodgkinson (Serg't Instructor), Serg't Instructor (2<sup>nd</sup> Vol. Batt.), J C Fell, Chas Coadwell (Serg't), W H Morris (censuses, Commoners Rolls)
- 1851 Warwickshire Militia Store to rear
- 1916-1943 House, WCC, occ WCC (Commoners Roll)

### 16 Northgate Street (WCC Deeds 307)

- 1424 Tenement called *Lemynton*, Prior of St Sepulchre (rental)
- 1447 Land, Prior of St Sepuchre
- c.1471 Two ten's, St Sepulcre's Priory (SGW, St Mary Chief rent)
- 1490/1 Two ten's, St Sepulcre's Priory (SGW, St Mary Chief rent)
- 1507/8 Ten., St Sepulcre's Priory (SGW, St Mary Chief rent)
- 1561 House etc., Smart & Sir Rd Catesby's heirs, (SBT DR 37/2758 abuttal)
- 1578 House etc., Roger Hurlebutt (butcher), occ Wm Samon (SBT DR 37/2758 abuttal)
- 1694 House, Mrs Wagstaff (Elias Webb), occ John Butler (carpenter), Front 2½ bays, rear 1 bay (Fire Records)
- 1695-1697 House, Elias Webb, Rebuilding (DDE117/1)
- 1698 House, occ Edward Angrave (Commoners Roll)
- 1741 Messuage, Elias Webb, occ Rd Halford (CR3065)
- 1755 House, Thos Webb esq., occ Widow Watts (Commoners Roll)
- c.1775 House, Mrs Webb, occ Wm Hyatt (Commoners Roll)
- 1776 Messuage, Elizabeth Webb (widow), occ Wm Hyatt (plasterer) (CR3065/307 abuttal)
- 1798 Messuage, Rev Elias Webb, occ Jn Richardson (CR3065)
- 1803 Messuage etc., Rev Elias Webb to Jn Tomes, occ Wm Ramsden (WCC 2/89)
- 1804 House, Jn Tomes, occ Ramsden supervisors (Commoners Roll)
- 1813 Messuage etc., Jn Tomes to Josiah Twamley, occ Late Wm Ramsden, now empty (CR3065/307)
- 1824 House, Josiah Twamley, occ Joseph Redfern (Commoners Roll)
- 1834 Messuage etc., Josiah Twamley, occ Joseph Redfern (CR3065)
- 1841 House, occ Wm Redfern, plasterer (census)
- 1842 House, Josiah Twamley, occ Joseph Redfern (Commoners Roll)
- 1849 Messuage etc., Twamley heirs to WB Shaw, occ Wm Redfern (CR3065)
- 1850 Messuage etc., WB Shaw to Thos Nicks, occ Late Wm Redfern now Thos Nicks (CR3065)

- 1852 House, Thos Nicks, occ J Tennant & Thos Nicks (Commoners Roll)  
 1862 Messuage etc., Nicks' trustees to W B Shaw, occ Late Thos Nicks now Chas Handley (CR3065)  
 1871 House, occ Chas Handley, solicitor (census)  
 1871 House, W B Shaw, occ Chas Handley (Commoners Roll)  
 1881 House, void (census)  
 1884 House, W B Shaw's executors to W B Shaw, occ Greaves, Bull & Lakin (CR3065)  
 1891 House, Void (census)  
 1891 House, W B Shaw, occ M H Lakin (Commoners Roll)  
 1900 House, W B Shaw, occ M H Lakin & R Dakin (Commoners Roll)  
 1901 House, Void (census)  
 1908 House, W B Shaw, occ WCC (Commoners Roll)  
 June 1914 Acquired by WCC for £400 from W Bannister-Shaw  
 1914 House, W B Shaw to WCC, occ WCC Finance Dept (CR3065)  
 1916-1943 House, WCC, occ WCC (Commoners Rolls)

### 18-20 Northgate Street

- 1409 Messuage called *Stonhalle*, John Woodlowe (CR26/1)  
 1424 Messuage called *Stonhalle*, John Woodlowe (College rental)  
 1447 Messuage called *le Stonenhalle*, Thos Herthull & wife to John Banham & wife (D 19/761)  
 1462-1465 *Stonehall*, John Banham (Styles, 127)  
 1490/1 Messuage, John Banham (College rental)  
 1561 Messuage called Stone House, Edw Charde to Thos Fisher, occ Roger Edgeworth (SBT DR 37/2758)  
 1575 Messuage, Edw Fisher, occ Thomas Jenks (rental)  
 1578 Messuage called Stone House, Edw & Thos Fisher to Thos Jenks, occ Thos Jenks (SBT DR 37/2758 & SGW, BRL deed)  
 1585 Messuage called Stone House, Thos Jenks, occ Thos Jenks (SBT DR 37/2761)  
 1586 Household, occ Wm Worcester? (SGW, BRL deed)  
 1619 Messuage, John Edmonds (rental)  
 1622 Messuage, Wm Edmonds to Katherine King, widow (SBT DR37/2766)  
 1641 Messuage, Katherine King (rental)  
 1652 Stonehouse, Edw Tadlowe, occ Warren Overton carpenter, SBT DR37/2772  
 1694 House called the *Green Dragon*, Richard Hadley sen., innholder, occ Richard Hadley, Front 9 bay, rear 18 bay (Fire records)  
 1698 House, occ Rd Hadley (Commoners Roll)  
 1726 Messuage etc., Nicholas Rothwell (CR3065/307)  
 1747 Messuage etc., Rothwell heirs & trustees, occ Late Sir Thos Delves now Jas Wright (CR2531/3)  
 1751 Messuage etc., Rothwell heirs & trustees, occ Late Sir Thos Delves now Jas Wright (CR2531/3)  
 1755 House, Widow Ayres, occ Mrs Wright, widow (Commoners Roll)  
 1762 Messuage etc., Rothwell trustees to Robt Avery (CR3065/307)  
 1772 Messuage etc., Avery heirs to Francis Hiorn (CR3065/307)

### 18 Northgate Street (WCC Deeds 5)

- c.1775 House, occ Mrs Gilbert (Commoners Roll)  
 1776 Messuage etc., Francis Hiorn to Anna Gilbert (spinster), occ Mrs Gilbert (CR3065/307)  
 1791 Messuage etc., Anna Gilbert, spinster (CR3065/307)  
 1804 House, Jn Bree MD, occ Mrs Clavering (Commoners Roll)  
 1805 Messuage etc., Anna Gilbert's devisees to Dr John Warden (CR3065/307)  
 1808 Messuage etc., Dr John Warden to Josiah Twamley (CR3065/307)

- 1824 House, Josiah Twamley, occ Josiah Twamley (Commoners Roll)  
 1834 Messuage etc., Twamley's trustees to Jn Twamley, occ Late John Twamley now Jn Twamley (CR3065/307)  
 1841,2 House, Josiah Twamley, occ Josiah Twamley, wine merchant (census, Commoners Roll)  
 1849 Messuage etc., Twamley's trustees to W B Shaw, occ Late John Twamley now Dr Allanby (CR3065/307)  
 1852-1861 House, W B Shaw, occ W B Shaw (merchant, mayor) (census, Commoners Roll)  
 1871-1883 House, W B Shaw, occ C B Shaw, wine merchant (censuses, Commoners Rolls)  
 1884 Messuage etc., W B Shaw's trustees to W B Shaw (grandson), occ C B Shaw (CR3065/307)  
 1891 House, W B Shaw, Robt N Holbeche, land agent (census, Commoners Roll)  
 1897 Messuage etc., W B Shaw to T H Kendall, occ Capt Dennis Granville (CR3065/307)  
 1900-1908 House, T H Kendall & son, occ Rev M H Middleton (census, Commoners Rolls)  
 1916 House, T H Kendall & son (Commoners Roll)  
 1924 House, D J Kendall, occ D J Kendall (Commoners Roll)  
 1926 Messuage etc., Kendall rep's to D J Kendall, occ D J Kendall (CR3065/307)  
 1927 Messuage etc., D J Kendall to WCC, occ D J Kendall (WCC1/5)  
 June 1927 Acquired by WCC  
 1943 House, WCC, occ WCC (Commoners Roll)

## 20 Northgate Street (WCC Deeds 266)

- c.1775 House, Francis Hiorn, occ Gregory Wade esq. (Commoners Roll)  
 1780 Messuage etc., Francis Hiorn, occ Simon Adams (CR556/825/16f)  
 1791 Messuage etc., E S Hiorn to George Boswell, occ Simon Adams (CR3065)  
 1804-1824 House, George Boswell, occ George Boswell (Commoners Rolls)  
 1841 House, occ Misses Rhoda & Elizabeth Boswell (ind.) (census)  
 1842-1861 House, Misses R and E Boswell, occ Misses R and E Boswell (ind. landed proprietors) (censuses, Commoners Rolls)  
 1871 House, occ Miss Eliz. Boswell, landed prop. (census)  
 1875 Messuage etc., Boswell trustees to J W Kirshaw (CR3065)  
 1879 Messuage etc., J W Kirshaw leaves property to his sisters (CR3065)  
 1881 House, occ Misses Holbeche (private income) (census)  
 1883 House, Kirshaw Rep's, occ Misses Holbeche (Commoners Roll)  
 1891 House, occ Misses Holbeche (private income) (census)  
 1891 House, E A Kirshaw, occ Miss F Holbeche (Commoners Roll)  
 1893 Messuage etc., Kirshaw trustees to J W Margetts, occ Misses Holbeche (CR3065)  
 1900, 1901 House, J W Margetts, occ Miss F Holbeche (census, Commoners Roll)  
 1903 Messuage etc., J W Margetts to Wm Daniels, occ Late Miss Holbeche (CR3065)  
 1903 Messuage etc., Wm Daniels to Jn Eborall, occ Late Miss Holbeche, now empty (CR3065)  
 1907 Messuage etc., Jn Eborall to Mrs E A Firkin, occ Mrs E A Firkin (CR3065)  
 1908 House, E A Firkin, occ E A Firkin (Commoners Roll)  
 1914 Messuage etc., Mrs E A Firkin, occ War Dept (CR3065)  
 1916 House, E A Firkin (Commoners Roll)  
 1917 Messuage etc., Mrs E A Firkin to WCC, occ War Dept (WCC4/266)  
 April 1917 Acquired by WCC for £650 from Mrs E A Firkin  
 1924-1943 House, WCC, occ WCC (Commoners Rolls)

## 22 Northgate Street

- 1447 4 cottages, Thos Herthull & wife to John Banham & wife (D19/761)  
 1561 4 messuages, Edw Charde to Thos Fisher, occ Thomas Crosse, Thomas Ridge, Richard Pratt and Wm Richardson (SBT DR 37/2758)  
 1578 4 messuages, Thos Fisher to Thos Jenks, occ Alice Crosse widow, Thomas Ridge, Joan Geywoode widow and Ralph Fisher freemason (SGW, BRL deed & SBT DR37/2760)  
 1585 4 messuages, Thos Jenks, occ John Becke, Robert Ridge, Joan Geywoode and Ralph Fisher (SGW, BRL deed & SBT DR37/2760)  
 1619 4 cottages, Rd Yardley & Jn Smith (rental)  
 1666 Corner house & next messuage, Heirs of Rd Yardley to Wm & Eliz. Cawthorne, occ Wm & Eliz. Cawthorne, late Thos Green now Rd Burston (CR607/40)  
 1694 2 houses, Mrs Cawthorne, occ Martin Taylor (baker), Rd Harris (town serg't), Maning, Mrs Cawthorne (Fire records)  
 1698 Late 4 tenements, Mrs Cawthorne, unbuilt (Commoners Roll)  
 1702 ground, Eliz. & Rd Cawthorne to Francis Smith, unbuilt (Fire Records, p112)  
 1735 Messuage, Francis Smith, occ Francis Smith (CR3065/231)  
 1743 Messuage, Wm Smith, occ Wm Smith (CR3065/231)  
 1753 Messuage, Ann Smith, occ Ann Smith (CR3065/231)  
 1755 House, Mr Stokes, occ Rev Bean (Commoners Roll)  
 c.1775 House, Mr Stokes, occ Mr [Thomas] Weston (Commoners Roll)  
 1780-1786 Messuage, F & A S Stokes, occ Widow Weston (CR3065/231)  
 1790 Messuage, F & A S Stokes to T W Weston, occ Mrs Mary Weston (CR3065/231)  
 1790 Messuage, T W Weston to Edw Weale, occ Mrs Mary Weston (CR3065/231)  
 1804 House, Widow E Weale, occ Jn Parkes (Commoners Roll)  
 1805 Messuage, E Weale & daughter to Jn Parkes, occ Jn Parkes (CR3065/231)  
 1816 Messuage, Jn Parkes, occ Jn Parkes (CR3065/231)  
 1822 Messuage, Jn Parkes' assignees to Wm Phipson, occ Jn Parkes (CR3065/231)  
 1824 House, Wm Phipson, occ Jn Parkes (Commoners Roll)  
 1836 Messuage, Rev Jn Farr, occ Rev Jn Farr (CR3065/231)  
 1828 Messuage, Wm Phipson to Rev Jn Farr, empty (CR3065/231)  
 1841 House, occ Lucy Farr (ind. means) (census)  
 1842 House, Mrs Farr, occ Rev Farr (Commoners Roll)  
 1852 House, Mrs Farr, occ Mrs Farr (Commoners Roll)  
 1861 Messuage, C E Moore to R D Vaughton, empty (CR3065/231)  
 1871-1881 House, occ R D Vaughton JP and adj. of Militia (Censuses, Commoners Roll)  
 1882 Messuage, R D Vaughton to County, occ R D Vaughton (CR3065/231)  
 1883-1904 House, County (WCC from 1891), occ R H Kinchant, Chief Constable then Capt J T Brinkley, Chief Constable (censuses, Commoners Rolls, Spennell's)  
 1905-2006 WCC Education Dept (Spennell's, Commoners Rolls)

#### **Court Offices (Former Police HQ), Northgate (WCC Deeds 231)**

- 1569 Waste, Lord of manor to Thomas Jenks (1575 rental)  
 1680 Waste, Wm Bolton, occ Wm Cawthorne, vintner (CR1886/7477)  
 1743 Waste, Lord Brooke to Wm Smith (CR3065/231)

Then with 22 Northgate Street up to (and including) the sale to the County in 1882

January 1882 Acquired by WCC as County Police Station and Office for £1823 from Lt Col R D Vaughton

1883-1949 County Police HQ, living accomm occ by sergeant/drill instructor F Price then A Jones (VCH 1969 448, Spennell's)

1949 WCC, occ County Planning Department

1957 County Planning Office

post-1968 WCC, occ Court Offices (Ordnance Survey 1:1250 map, 1968)

## 2a The Butts (formerly rear of 20 Northgate Street) (WCC Deeds 4)

1904 Part of garden, Wm Daniels (mortgage), Coachhouse, stables & outbuildings being built (WCC 4)

1909 Stables etc., Wm Daniels, occ Wm Daniels, car proprietor (Spennells)

1911 Stables etc., H M Daniels to W T Brookes, Vet. Surgeon (WCC4)

1913 Stables etc., W T Brookes, occ Taylor & Palmer, Vet. Surgeons (WCC4)

1925 Stables etc., W T Brookes to R B Palmer, occ R B Palmer, Vet. Surgeon (WCC4)

1930 Stables etc., R B Palmer to WCC, occ Palmer & Gilks (WCC4)

December 1930 Acquired by WCC for £1500 from R B Palmer

1931 on Store etc, WCC, occ WCC

## Area D, Northgate House (Fig 59)

### Pre 1694 Fire

#### Plot A

1482 Cottage, Earl of Warwick, occ George Heyne (rental)

1586 House, occ Thomas Camell (Communicants)

1595 Messuage, garden & site of cottage, Tipper & Dawe to Cromton & Morrison, occ [Late Camell?] now Alice Cater (CR26)

1612 House, Sir Thomas Puckering, occ Nicholas Chowne (CR 26 lease)

1633 House, occ Robert Grey, glazier (CR 26 lease (abuttal))

1652 House, Puckering, occ Eliz. Ely, widow (CR 26 deed)

1657 House, Puckering, occ Mrs Ely (CR 26 note on 1612 lease)

1662-1674 House, occ Mrs Ely (Hearth Tax)

1693 House, Sir Henry Puckering, occ Elizabeth Elly, widow (CR 26 deed)

1694 House, Sir Henry Puckering, occ Edward Angrave (Fire records)

#### Plot B

1482 Tenement, Guild (rental)

1548 Ten., Guild, occ Rd Gardener (1584-1590 deeds)

1575 Ten., Late guild, occ Late Rd Gardener now Nicholas Getley (rental)

1586 House, occ Nicholas Gateley (Communicants)

1590 House, Bought by Sir John Puckering, occ Late Rd Gardener (CR 26)

c.1597 House, Puckering, occ Nicholas Geatley (rental)

1612-1633 House, Sir Thomas Puckering, occ Rd Calloway, maltster, CR 26 lease

1652 House, Puckering, occ Thomas Gibberd (CR 26 deed)

1663-1674 House, occ Valentine Harris, 3 hearths (Hearth Tax)

1693 Messuage called *The Lamb*, Sir Henry Puckering, occ Anne Harris, widow (CR 26 deed)

1694 House called *The Lamb* burnt, Sir Henry Puckering, occ Anne Harris, widow (Fire Records)

#### Plot C

1482 Cottage, John Banham (Rental)

1575 Little tenement, John & Mary Fisher, occ Wm Staunton (Rental)

1586 House, occ Wm Staunton (Communicants)

1633 occ Widow Clarke (CR26 lease)

1694 House (1 bay), John Evits, occ John Evits (Fire Records)

1695 House, John Evits to Sir Hen. Puckering, occ late John Evits (CR 26 fine)

### Plot D

1482 Tenement (late 4 cottages), Earl of Warwick, occ Late John Tyler then John Carpenter (Rental)

1575 Cottage, Daniel Heyth, occ Samuel Jarvis (Rental)

1580 Barnaby Holbeach (Note on rental)

1586 Houses, occ Thomas Horneycroft, Thomas Missleden, Thomas Letwich (Communicants)

1619 Ten., Barnaby Holbeach (Rental)

1641 Ten., Late John Clarke, now Edw. Lapworth (Rental)

1695 Ten. & gdn, Robert Blissett to Sir Henry Puckering, occ Late Thomas Glendall now Stephen Bradley (CR26 deed)

### Plot E

1482 Cottage, Guild (Rental)

1545 Cottage, Guild, occ Wm Goddard (CR26)

1575 Ten., occ John Baker (Rental abuttal)

1586 House, occ John Baker (Communicants)

c.1597 House, Sir John Puckering, occ Humphrey Bowkye (Rental)

1652 House, Puckering, occ Richard Hadley (CR 26 deed)

1664 Burnt house, occ B Brasier? (QS)

1695 Burnt Garden, Sir Henry Puckering, occ Anne Harris (CR26 deed & 1711 survey)

*Plots F-L in italics are taken from SGW*

### Plot F

1544 *cottage of Guild of Warwick (occupied by J. Huntington) for 3s*

1582 *William Dongley*

1586 *William Dunkley*

1590 *bought by Puckering*

1597 *house, formerly of Guild, (occupied by William Dunkley)*

1612 *messuage of Puckering (occupied by Tho. Ridge) at 12s*

1633 *messuage of Puckering (occupied by Tho. Ridge) at 16s*

1694 *part of burnt garden (occupied by Ann Harris)*

1711 *gap on map*

1788 *part of garden of Northgate House*

### Plot G

1545 *cottage of Guild of Warwick (occupied by Alice Brown) at 3s*

1582 *Bredon*

1586 *Bennet Bredon*

1587 *messuage of Puckering (late Bromfield)*

1597 *house, formerly of Guild (occupied by Alice Price) for 10s*

1633 *houses of Edward Hicks + Mary Bromfield*

1694 *part of burnt garden (occupied by Ann Harris)*

1711 *gap on map*

1788 *part of garden of Northgate House*

### Plot H

1545 *cottage of Guild of Warwick (occupied by J. Whitacre for 3s)*

- 1582 Roger Asplen  
 1586 David Griffin  
 1590 bought by Puckering  
 1597 house, formerly of Guild, (occupied by Thomas Owen at 8s)  
 1694 part of burnt garden (occupied by Ann Harris)  
 1711 gap on map  
 1788 part of garden of Northgate House

**Plot I**

- 1545 cottage of Guild of Warwick (occupied by J. Alen at 3s)  
 1582 Thomas Wilson  
 1586 Thomas Wilson  
 1590 bought by Puckering  
 1597 house of Puckering (occupied by Thomas Wilson at 12s)  
 1694 part of burnt garden (occupied by Ann Harris)  
 1711 gap on map  
 1788 part of garden of Northgate House

**Plot J**

- 1545 cottage of Guild of Warwick (occupied by R. Roo at a rose [= £1])  
 1586 John Smalley  
 1590 bought by Puckering  
 1597 house, formerly of Guild (occupied by John Smalley at 8s)  
 1634 house and garden of Puckering (occupied by M. Eabourne at 10s)  
 1694 part of burnt garden (occupied by Ann Harris)  
 1711 gap on map  
 1788 part of garden of Northgate House

**Plot K**

- 1545 cottage of Guild of Warwick (occupied by J. Hoddye at 3s)  
 1582 Thomas Dunkley  
 1586 Thomas Dunkley  
 1590 bought by Puckering  
 1597 house, formerly of Guild (occupied by Thomas Dunkley at 12s)  
 1612 messuage of Puckering (occupied by T. Griffin, was T. Worthing, at 13s4d)  
 1635 messuage and garden of Puckering (occupied by J. Sheppard, late T. Griffin at 30s)  
 1694 part of burnt garden (occupied by Ann Harris)  
 1711 gap on map  
 1788 part of garden of Northgate House

**Plot L**

- 1545 cottage of Guild of Warwick (occupied by J. Swyndell at 3s)  
 1586 Eliz. Barton  
 1590 bought by Puckering  
 1597 house formerly of Guild (occupied by Humfrey Bowkye at 2s8d) (N.B. house of Thomas Oken)  
 1633 messuage and 2 gardens of Puckering (occupied by Gilbert Biker at 24s)  
 1694 part of burnt garden (occupied by Ann Harris)  
 1711 gap on map [possibly new stables of the Priory estate to rear, occupied by J. Watts]  
 1788 part of garden of Northgate House

**Post 1694 Fire****Northgate House, Eastern part** (*not in WCC ownership*)

- 1698 Sir Henry Puckering (CR)  
 1711 House, Lady Jane Bowyer, occ Mrs Parsloe (CR 26/2 (1) survey)  
 1724 House, Lady Jane Bowyer & Henry Wise, occ Job Price (CR 26/1 D8)  
 1755 House, Matthew Wise, occ [Blank] (CR)  
 1759 House, Henry Wise, occ Joseph Eborall (SGW)  
 c.1775 House, Henry Wise, occ Rev D Warner (CR)  
 1788 House, H C Wise (CR1886)  
 1792 House, H C Wise, occ Warner (SGW)  
 1793 House, H C Wise, occ Manwaring (SGW)  
 1804 House, H C Wise, occ Miss Fisher (CR)  
 1806 House, M B Wise, Miss Fisher (CR 1886)  
 1824-1842 House, Rev H Wise, H E Landor (CR)  
 1852 House, H C Wise, occ Samuel Burbury (CR)  
 1871 House, H C Wise, occ Mrs Mallory (CR)  
 1883 House, Rep's of H C Wise, occ J R Gibbs (CR)  
 1891 House, Major Waller, occ Maj. Ingram (CR)  
 1900 House, Late G H Waller, occ Capt. C G Legge (CR)  
 1908 House, Sir F E Waller, occ J W Warren (CR)  
 1916 House, Sir F E Waller, occ W H P Law (CR)  
 1924 House, A H Sharp, occ A H Sharp (CR)  
 1943 House, E Reynolds, occ E Reynolds (CR)

**Northgate House, Western part** (WCC Deeds 788)

- 1698 Sir Hen. Puckering (CR)  
 1702 House, Lady Jane Bowyer, occ Henry Hunt (CR 26/D8 lease)  
 1711 House, Lady Jane Bowyer, occ Henry Hunt (CR 26/2 (1) survey)  
 1725 House, Lady Jane Bowyer & Henry Wise, occ Robert Cornwell (CR 26/1 D8)  
 1755 House, Matthew Wise, occ Madame Stanley (CR)  
 1759 House, Henry Wise, occ Mary Crookes (SGW)  
 c.1775 House, Henry Wise, occ Mrs Wise (CR)  
 1788 House, H C Wise (CR1886)  
 1792 House, H C Wise, occ Warner (SGW)  
 1793 House, H C Wise, occ Mainwaring (SGW)  
 1804 House, H C Wise, occ Matt. Wise (CR)  
 1806 House, M B Wise, occ M B Wise (CR1886)  
 1824 House, Rev H Wise, occ Dr P F Luard (CR)  
 1842 House, Rev H Wise, occ Edw Draper (CR)  
 1852 House, H C Wise, occ Frederick Farmer (CR)  
 1871 House, H C Wise, occ Rev G A Webb (CR)  
 1883 House, Rep's of H C Wise, occ Rev G A Webb (CR)  
 1888 House, George Henry Waller inherits from his cousin (WCC deed)  
 1891 House, Major Waller, occ Brabazon Campbell (CR)  
 1898 House, Francis Ernest Waller inherits from his parents (WCC deed)  
 1900 House, Late G H Waller, occ Brabazon Campbell (CR)  
 1908 House, Sir F E Waller, occ Brabazon Campbell (CR)  
 1914 House, Wathen Arthur Waller inherits from his brother (WCC deed)  
 1916 House, Sir F E Waller, occ Brabazon Campbell (CR)  
 1917 House, Wathen Arthur Waller, occ Major F A C Hamilton (WCC lease)  
 1920 House, Wathen Arthur Waller to Major F A C Hamilton, occ Major F A C Hamilton (WCC deed)  
 1923 House, Major F A C Hamilton to Mrs J E Walker (WCC deed)  
 1924 House, Sir F W Waller [sic], occ Mrs J E Walker (CR)

1928 House, Mrs J E Walker to Louisa Mabel Whitley (WCC deed)  
1928 House, Louisa Mabel Whitley, occ G G C Taylor (WCC lease)  
1946 House, Louisa Mabel Whitley to G G C Taylor, occ G G C Taylor (WCC Deeds  
788)  
May 1946 Acquired by WCC for £5500 from G C Taylor  
June 1960 Triangle of land to north acquired by WCC for £100 from B Fielding  
January 1979 NW part of garden sold to Crosbee & Atkins

## Appendix C: Listed Building Citations

### Church of Saint Mary, including Beauchamp Chapel I (LBS 307351)

SP 2864 NW 1/298

Tower can be seen for many miles and is of high value in association with Northgate Street, also with Church Street, The Court House and adjoining buildings. Nave, transepts, and tower rebuilt by Sir William Wilson in 1697-1704 after destruction in the great fire of 1694. Design supervised and perhaps modified by Sir Christopher Wren (see *Wren Society's Transactions* Vol X). This curious and interesting building retains much of the Gothic spirit although details and mouldings are Renaissance in character. Late C14 chancel. Norman crypt. Interior contains C18 organ case by Swarbrick and various effigies.

The Beauchamp Chapel (Lady Chapel to south of Chancel) is a very fine example of the perpendicular style, built 1442-63 to contain the well known tomb and bronze effigy of Richard Beauchamp, Earl of Warwick (died 1439). Further interesting features of the interior include, fan vaulting, richly carved stone figures etc at east end, wall painting (Last Judgement) at west end, C15 stained glass and other tombs of the Dudley family. *VCH* viii, pp524-9.

### Market Place (West side)

#### 10 Market Place [*Abbotsford House*] II\* (LBS 307547)

SP 2865 SW 3/131

1714, probably by Francis Smith. Local sandstone ashlar, formerly badly decayed and detail practically obliterated. Impressive design with tall fluted Corinthian pilasters at angles beneath entablatures. Hipped old tiled roof with modillioned cornice. 3 storeys and attics, plinth with horizontal rustication. 3 pedimented sash dormers, central pediment segmental. First and second floor moulded bands. 5 sashes with glazing bars in eared architrave surrounds with keystones, ground and first floor windows segmental headed, first and second floor panelled window aprons. Interior: C18 staircase and panelled room. *VCH* viii, 431, 434.

#### 14 Market Place II (LBS 307548)

SP 2864 NW 1/132, SP 2865 SW 3/132

Simple early C19 3 storey 3 window stucco façade. Sashes in plain reveals vertical glazing bars only. Centre bay blocked up. Plain parapet. Modern plate glass shopfront. Hipped roof of old tiles. It appears that original building was of early C18 construction.

### Market Place (East side)

#### 3, 5 & 7 Market Place II GV (LBS 307549)

SP 2864 NW 1/133

Rainwater head on left hand side dated 1826. Intersecting 3 storey 8 window stucco design. Sashes in cased frames. Lower storey is rusticated. Fairly satisfactory but large modern plate glass shopfront with oak glazing bars on left hand side. Other ground floor windows are semi-circular headed in reveals. 12 panel door with semi-circular fanlight to right hand side. Windows on first and second floors have

moulded architraves. Those on first floor have semi-circular tympana over with Grecian honeysuckle enrichment. String bands at sill level and under plain parapet. Nos 3 to 13 (odd) form a group.

**9 Market Place** **II GV** (LBS 307550)  
(No 7 on Ordnance Survey map)

SP 2864 NW 1/134

Probably first quarter of C19. Block of two practically identical 3 storey 3 window designs of painted stucco. Sashes in cased frames with moulded architraves. Those on the first floor have low pitched pediments and acanthus leaf frieze enrichment. Top five courses of parapet wall rebuilt in blue brickwork. Entrance door has segmental moulded head and heavy console brackets. Large plate glass shopfronts. Nos 3 to 13 (odd) form a group.

### *New Street (East side)*

**1 New Street** **II GV** (LBS 307580)

SP 2864 NW 1/169

Early C19 storey 6 window severe red brick building. Sashes in plain reveals. Good doorcase with open pediment, attached Doric columns and entablature. 6-panel door and semi-circular fanlight. Plain stone string band at first floor sill level, painted. Slender moulded stone cornice at eaves. Low pitched roof of Welsh slates. Windows have cutter flat arches, glazing bars. C19 shop window on left with pilasters, frieze and cornice. Lower wing on right with 1 window. Nos 1, 3, 5 & 5a form a group.

### *New Street (West side)*

**2 New Street** **II** (LBS 307584)

SP 2864 NW 1/530

Originally the Bank of Dames, Tomes & Russell (later Tomes, Russell & Tomes), established in 1791. Ashlar house with modern wood cornice, machine tiled roof. 2 storeys, slightly projecting centre, 3 windows, left hand ground floor window set in countersunk panel. Wooden door frame with reeded jambs, flat cornice brackets under blocked segmental fanlight. C19 shop front on right. VCH viii, p509. One building with 15 Old Square.

### *Northgate*

**Warwickshire County Council Staff Club** **II\*** (LBS 307585)  
**(Northgate House & Northgate)**  
**(formerly listed as Northgate House, Saltisford)**

SP 2865 SW 3/202 10.1.53

Good late C17, 2 story plus attic 11 window red brick façade with stone dressings, at present in rather poor repair. Sashes in cased frames with stone keyblocks. Centre portion, 3 windows wide, breaks forward and is surmounted by triangular pediment

having elliptical shaped sundial with moulded architrave and four plain keyblocks. Central window on first floor has heavy, bolection moulded architrave. Under this, on ground floor, is a large rectangular opening with fielded panelled doors in plain brick reveals. Moulded cornice at eaves in decayed condition, string band at first floor, plinth and rusticated quoins all in local sandstone. 4 window wings on each side have dormers with alternate triangular and segmental pediments. Practically identical 6 fielded-panel doors and semi-circular fanlights in plain reveals, but glazing bars to left hand fanlight have been replaced. Good, simple, wrought iron railings. Elaborate C20 corbelled stone sundial (dated 1698), on side facing Cape Road. Satisfactory hipped roof of (probably later) brindle tiles. Date 1698 also at back on rainwater head.

**Northgate Street (West side)**

**1 Northgate Street** II (LBS 307586)

SP 2864 NW 1/72 10.1.53

C18. Red brick, old tiled roof with two gabled casement dormers. 2storeys and attic, moulded cornice. Sashes under cutter flat arches and keystones; stone sills. First floor stone band.

**7 & 9 Northgate Street  
(The Judge's Lodgings)  
(formerly listed as Judge's House)** II (LBS 307587)

SP 2865 SW 3/175 10.1.53

1814-16 by Henry Hakewill. Ashlar front slightly set back with Greek Ionic porch. 2 storeys, plain wide pilasters either end, cornice, blocking course. Horizontal channels to ground floor, band at first floor sill level. 3 sashes, first floor architrave surrounds, cornices. 2 fold 6-panel door. VCH viii p451.

**The Shire Hall** I (LBS 307588)

SP 2865 SW 3/176 10.1.53

1753-8 by William and David Hiorn of Warwick to the design of Sanderson Miller. (VCH viii pp 450-451.)

1948 refacing of the whole exterior front with Hollington stone. 9-bay façade with full Corinthian order. Centre portion is pedimented and has attached columns with pedestals, large semi-circular headed entrance with two fielded panelled doors, hung folding, and ornamental wrought iron fanlight. Plain semi-circular headed niches on each side. 3 window side wings have pilasters between bays and twin pilasters to left and right hand end bays. Architraves with pedimented entablature to window openings. Rusticated plinth, heraldic cartouche and carved swags of fruit and flowers to main pediment and space between capitals. Slate roof. Fine interior includes original plaster ceilings, stone faced central saloon, 2 octagonal court rooms.

**Warwickshire County Council Offices  
(that part formerly the Militia Barracks )** I (LBS 307589)

SP 2865 SW 3/177 10.1.53

Originally the County Gaol, retains an octagonal room of circa 1680. Subsequently rebuilt by Thomas Johnson of Warwick. 1779-83 in Neo-Classical style with Greek Doric order (used by Revett on the church at Ayot St, Lawrence 1778-9).

Warwickshire Militia Barracks from 1861. Successful modification of side elevation carried out about 1937-8, when building was adapted and extended to the rear. C18, heavy 2 story 11 window façade of ashlar. Central, slightly projecting, portion is pedimented and has three semi-circular headed openings giving access to the reconstructed courtyard within. Massive attached 2 storey Doric half columns and full entablature. Modern metal casements in plain reveals. New plinth of Hornton stone. One of the earliest Greek Revival buildings in England.

*Northgate Street (East side)*

**2 Northgate Street** **II GV** (LBS 307590)

SP 2865 SW 3/178 10.1.53

C18, 2 storey plus attic, 5 window stucco façade. Sashes with wide cased frames in reveals having slightly projecting keyblocks. Formerly with string at first floor level and projecting plinth. Rusticated quoins to right hand side and simple pilaster to left hand side. Central 6-panel door and rectangular fanlight having moulded architrave and entablature with pulvinated frieze. Two gabled dormers. Hipped roof of Welsh slates. C18 staircase and panelled room.

*All the listed buildings on the east side of Northgate Street form a group.*

**4 Northgate Street** **II GV** (LBS 307591)

SP 2865 SW 3/179 10.1.53

C18, 2 storey plus attic, 3 window façade of red brickwork. Moulded cornice at eaves. Projecting pilaster to left hand side and string at first floor level. Once similar to those of adjoining building ( No. 2). Sashes in cased frames with plain keyblocks. Central opening on first floor is blocked up. Central doorcase with projecting hood, console brackets. 6-flush panel door and good semi-circular fanlight. Two gabled dormers in roof of old tiles. Flat arches to windows.

*All the listed buildings on the east side of Northgate Street form a group.*

**6 Northgate Street** **II GV** (LBS 307592)

SP 2865 SW 3/180 10.1.53

Probably late C18, 2 story plus attic. 3 window red brick façade. 6-panel doors to central and left hand entrances, both having rectangular fanlights. All openings to doors and windows in brick reveals with stone keyblocks. Coved cornice at eaves. Two gabled dormers in roof of satisfactory (probably modern) tiles.

*All the listed buildings on the east side of Northgate Street form a group.*

**10 Northgate Street** **II GV** (LBS 307593)  
(formerly listed as Nos 8 & 10)

SP 2865 SW 3/182 10.1.53

Probably late C18, 2 storey plus attic. Stucco facades with continuous roof. Sashes in plain reveals. Moulded cornice at eaves. Each property has two gabled dormers. No 10 is 3 windows wide and has doorcase with pedimented hood console brackets. 6-fielded panelled door and simple rectangular fanlight. It is roofed with satisfactory modern tiles. Left hand property has no front entrance, is 5 windows wide and has roof of old tiles. A large C17 gable wing to the rear is of slender square timber framing.

*All the listed buildings on the east side of Northgate Street form a group.*

**16 Northgate Street** **II GV** (LBS 307594)

SP 2865 SW 3/184

(formerly listed as 12 14 &amp; 16)

Probably late C18, 2 storey plus attic. Stucco facades with continuous roof and moulded cornice at eaves. Wide entry to right hand side gives access to court to rear of these properties. On east side of court is satisfactory range of council offices in C20 brickwork. Entry has simple 8-panel doors hung folding. Two gabled dormers in roof of old tiles. Sashes with moulded architraves and string band at first floor level. Rather heavy doorcase on left hand side with Doric pilasters; on right hand side both having fielded panelled doors. Glazing bars to windows.

*All the listed buildings on the east side of Northgate Street form a group*

**18 & 20 Northgate Street** **II\* GV** (LBS 307595)

SP 2865 SW 3/187 10.1.53

One building. Good C18, 2 storey plus attic, 7 window symmetrical façade faced with unpainted stucco. Sashes in cased frames. Centre portion, 3 window wide breaks forward and is surmounted by triangular pediment with elliptical window having moulded architrave and original leaded lights. Central window at first floor has moulded architrave with scrolled eared head. Central semi-circular headed window on ground floor has pedimented surround with slender pilasters and paterae all set in semi-circular headed reveal. To each side are good identical doorcases having geometrical fanlights, 6 fielded panelled doors, moulded architraves, fluted frieze and dentilled cornice. The side wings, each 2 window wide, are simple in character and have pedimented dormers. Rusticated quoins, moulded cornice, and string band are all of stucco. Roof of old tiles. Plinth. Perhaps designed by Francis Hiorns.

*All the listed buildings on the east side of Northgate Street form a group*

**22 Northgate Street** **II GV** (LBS 307596)

SP 2865 SW 3/188 10.1.53

Simple C18, 2 storey plus attic, 5 window ashlar façade. Additional bay to left hand side with slight break forward has window openings blocked up and is surmounted by modern chimney shaft. Sashes in plain reveals, later (?C19) replacements. Splayed plinth and string band at first floor. Break forward to entrance bay (off centre) with 6-panel door under fanlight. Similar entrance on right. Stone cornice moulding at eaves. Welsh slated roof with 2 gabled casement dormers. Joseph Parkes (1796-1865) of Birmingham, radical politician, and his brother Josiah (1793-1871), engineer and inventor were probably born and brought up here. Francis Hiorns, C18 architect, dwelt in a house on the sites of Nos 18, 20 or 22 and may have designed the present houses.

*All the listed buildings on the east side of Northgate Street form a group*

**Old Square (North side)****2 Old Square** **II** (LBS 307597)

SP 2864 NW 1/191

C18 and early C19 refronting of earlier building. Stucco, hipped old tiled roof. 2 storeys and attics, 4 gabled casement dormers. 6 sashes with glazing bars, architrave surrounds, first floor sill band. Tall Corinthian end pilasters, frieze, cornice, parapet.

2 doorways; that on right with 2 panel door and traceried fanlight in archivolt, surround of squat attached Corinthian columns under entablature. Secondary doorway on left has 3 panel door, surround of stucco pilasters, frieze, cornice.

*Old Square (South west side)*

**5 & 7 Old Square** **II GV** (LBS 307598)

SP 2864 NW 1/189

Early C19, 3 storey 3 window stucco building. Sashes in plain reveals with simple panels above second floor windows. Panelled pilasters at quoins, slender moulded cornice at eaves and blocking course. No 5 has doorcase with attached Tuscan columns and entablature. 6-panel door and rectangular fanlight. No 7 is set at right angles to No 5 on west side of Square and has similar doorcase, with pilasters instead of columns. No 5 has Neo-Georgian pair of shop windows. Old tiled roof.  
*Nos 5 to 13 (odd) form a group.*

**9 Old Square** **II GV** (LBS 307599)

SP 2864 NW 1/474

Early to mid C19 front. Stucco, parapet with cornice and blocking course. 3 storeys. 2 sashes facing east with glazing bars, architrave surrounds, dummy window facing north. C19 shop windows with cornice.  
*Nos 5 to 13 (odd) form a group.*

**11 Old Square** **II GV** (LBS 307600)

SP 2864 NW 1/475

C18. Stucco, machine tiled roof with gabled dormer casement. First floor sash in reveal with glazing bars, sill band. Cornice. C19 shop with slender pilasters.  
*Nos 5 to 13 (odd) form a group.*

**13 Old Square** **II GV** (LBS 307601)

SP 2864 NW 1/190

Early C19, 3 storey 4 window stucco façade. Sashes in plain reveals. Hooded doorcase with slender pilasters and entablature. 6-flush panel door and rectangular fanlight. Low pitched roof of Welsh slates. Glazing bars to windows.  
*Nos 5 to 13 (odd) form a group.*

**15 Old Square** **II** (LBS 307584)

SP 2864 NW 1/530

See No 2 New Street

***Saltisford (North-east side)*****18 & 20 Saltisford**

SP 2865 SW 3/487 II GV (LBS 307618)

Late C16 or early C17. Timber frame, whitewashed brick nogging, old tiled roof. 2 storeys, 3 flush casements. Left hand part plastered. VCH viii p.438.  
*Nos 18 to 24 (even) including No 20A form a group.*

**20A Saltisford**

SP 2865 SW 3/488 II GV (LBS 307619)

Late C16 or early C17, now plastered. Old tiles. 2 storeys, flush sash to ground floor, casement to first floor.  
*Nos 18 to 24 (even) including No 20A form a group*

**22 & 24 Saltisford**

SP 2865 SW 3/489 II GV (LBS 307620)

Late C16 or early C17 refaced in colour washed brick and plaster. Old tiled roof. 2 storeys, 3 windows - 2 first floor casements and 2 shop windows to No 22 with cornice over shop, casement with glazing bars to No 24. 2 gabled casement dormers. VCH, viii, p.438.  
*Nos 18 to 24 (even) including No 20A form a group*

***Saltisford (South-west side)*****33 & 35 Saltisford**

SP 2765 SE 5/205 II (LBS 307624)

A simple early C19 3 storey 4 window terrace of red brickwork with low pitched roof of Welsh slates. No 33 has original projecting shopfront: pilasters, glazing bars. No 35 has doorcase with 6-panel door, rectangular fanlight and fluted pilasters, entablature. Sash windows with glazing bars in reveals under flat arches.

***Theatre Street (West side)*****33 Theatre Street**

SP 2765 SE 5/250 II (LBS 307661)

Attractive, C17, 1 storey plus attic building of square timber framing with two flush dormers, gabled. Infilling mainly of colourwashed brickwork. Modern metal casements with leaded lights. Old tiles.

***Theatre Street (East side)*****8 Theatre Street**

SP 2765 SE 5/251 II (LBS 307662)

Late C18 or early C19. Red brick, Welsh slated roof with corbelled stone cornice. 3 storeys, 2 sash windows with glazing bars in reveals with flat arches. 6 fielded panelled door and fanlight in open pedimented surround.

**10 Theatre Street  
(The Globe Inn)**

SP 2765 SE 5/506

II

(LBS 307663)

Early C18 stone building with early C19 brick additions on the east side. The west front is largely unaltered. 2 storeys and attics, plinth, stringcourse and chamfered quoins. Upper windows inserted late C10 under brick gables. Keystones to remaining 6 windows, 4 of which retain original wooden casement frames. 6 panelled door, wooden surround with Ionic pilasters, pedimented hood. Stucco-north front of 2 windows with early Victorian Gothic tracery. Bay window to west side. Doorway in stone architrave surround, with stop-moulded jambs, of early date. Tiled roofs.

*The Butts (North-east side)***1 The Butts (The Punch Bowl Hotel)**

SP 2865 SW 3/414

II GV

(LBS 307391)

C18, whitewashed brick, old tiled roof with corbelled brick cornice. 3 storeys, 3 sashes with glazing bars in reveals under slightly cambered arches. Modern flat roofed ground floor extensions. Gabled road elevation with wide flush casement. Nos 1 to 15 (odd) form a group.

**3 The Butts**

SP 2865 SW 3/252

II GV

(LBS 307392)

Simple early C19 2 storey 3 window symmetrical ashlar facade of local sandstone, in rather poor repair. Moulded cornice at eaves, string course at first floor level, plain pilasters at quoins and projecting plinth. Sashes in cased frames, central 6-panel door and rectangular fanlight. Openings on ground floor set in segmental-headed reveals. Low pitched roof of Welsh slates. Glazing bars to windows and fanlight. Nos 1 to 15 (odd) form a group.

**5 The Butts**

SP 2865 SW 3/415

II GV

(LBS 307393)

Early to mid C19. Ashlar, low pitched Welsh slate roof with cornice. 3 storeys, first floor ovolo band. 2 windows in reveals with glazing bars, left hand ground floor casement, remainder sashes. 4 panel door on right. Nos 1 to 15 (odd) form a group.

**7 The Butts**

SP 2865 SW 3/416

II GV

(LBS 307394)

Early to mid C19. Red brick end stucco. Welsh slates. 3 storeys, sashes with glazing bars in reveal under rusticated heads. 6 panel door, oblong fanlight, hood on heavy cut console brackets above slim panelled pilasters. Nos 1 to 15 (odd) form a group.

**9 The Butts**

SP 2865 SW 3/417 II GV (LBS 307395)

Early C19. Ashlar, Welsh slates. 3 storeys, cornice, first floor sill band, plinth. Sash with glazing bars in reveal. 6 panel door, oblong traceried fanlight, hood on brackets. Nos 1 to 15 (odd) form a group.

**11 The Butts**

SP 2865 SW 3/418 II GV (LBS 307396)

Earlier C19. Red brick, Welsh slates. 3 storeys, wooden cornice, first floor sill band, plinth. 2 sashes with glazing bars in reveal under cutter flat arches. 6 flush panel central door, fanlight, surround with ribbed edge, paterae at angles and in spandrels, cornice hood.

*Nos 1 to 15 (odd) form a group.*

***The Butts (South-west side)*****County Library Headquarters. End Pavilions**

*(N.B. This is now Warwickshire Museum Store)*

SP 2865 SW 3/421 II GV (LBS 307400)

Two buildings of fairly similar design intended to form a balanced composition either side of a yard. C18. Ashlar, Welsh slates. 2 storeys, pediments semi-circular panel on left, window on right, both with archivolt. Left building has 2 windows in reveals under lintels, ground floor sashes with glazing bars, first floor casements. Central wide segmentally arched panel containing 2 fold door; first floor central dummy window. Building on right has tall arched panel with, first floor small loft door under lintel. Plinths.

*County Library Headquarters. Nos 2 to 14 (even), The Old Deanery and The Glebe House, and the Stone Wall to the Deanery Garden, all form a group.*

**2 to 14 (even) The Butts**

SP 2865 SW 3/254 II GV (LBS 307401)

Simple, early C19 9 window ashlar terrace. No 14 is 2 storeys, remainder are 3 storeys. Similar 4-panel entrance doors have semi-circular fanlights with moulded archivolt. Sashes in cased frames, glazing bars. Openings have plain keyblocks. Modillions and moulded stone cornice at eaves. Old tiles. No 12 has later, incongruous oriel bay to upper floors.

*County Library Headquarters, Nos 2 to 14 (even). The Old Deanery and The Glebe House, and the Stone Wall to the Deanery Garden, all form a group.*

**Appendix D: Ecological Survey**



## SITE REPORT

Office use

WARWICKSHIRE BIOLOGICAL RECORDS CENTRE: County Museum, Warwick

Name of Site	WCC Courts Building/Shire Hall	Date of Visit	19/09/06	Time on Site	11:00am
Grid Ref.	SP 281650	Weather		Surveyor	
Parish or location	Warwick town centre	Fine, sunny day		Becky May, Kit Allen	
Access arrangements	Pavements and council access paths through archways				
Use of site	Offices	Owner/tenant of site	WCC		
Public access		Strict confidence			
Adjacent land use	Roads, Town houses	Any threats or Application		Potential redevelopment	

### General description/interest:

The site encompasses a complex of Council buildings of various age surrounding two courtyards, which can be accessed via covered archways. The buildings are well maintained and bordered by roads on all sides. The roofs of the buildings are generally in good condition although there are some areas with gaps under tiles which could provide access into the roof space for bats and/or nesting birds. The site is urban, being in the centre of Warwick and closely surrounded by other town buildings, although Priory Park and the College Garden at St Mary's Church are both within the immediate vicinity.

Within the outer courtyard is a large underground air vent, which upon further inspection was revealed as a former dungeon. A visit into this space revealed only low potential for bats as a hibernation roost as there were few holes and cracks in the brickwork. Within the inner courtyard is a small pond with a fountain. To the front of the complex is Shire Hall, with a water feature containing sculptures.

### Flora

There is very little flora, except a few small areas of amenity grass in the outer courtyard, some aquatic vegetation in the pond and planted flowerbeds along the outside of the buildings along Northgate Street.

### Fauna

Although the roof is generally in a good state of repair, there are occasional gaps under tiles which could provide access for bats and given the presence of a bat here in the 1980's, together with the proximity of Priory Park for foraging, it is considered to have medium bat potential.

The buildings and any shrubs present within the grounds have the potential for nesting birds.

The pond is not considered suitable for species such as great crested newts.

Plants (DAFOR) + animal records

A Brown Long-eared bat record exists for the Barrack Street side, from 1984 (see map for location).

No fauna was spotted during site visit.

Flora is minimal and mainly non-native garden plants, except in the inner courtyard's pond, which contains the following planted native species:

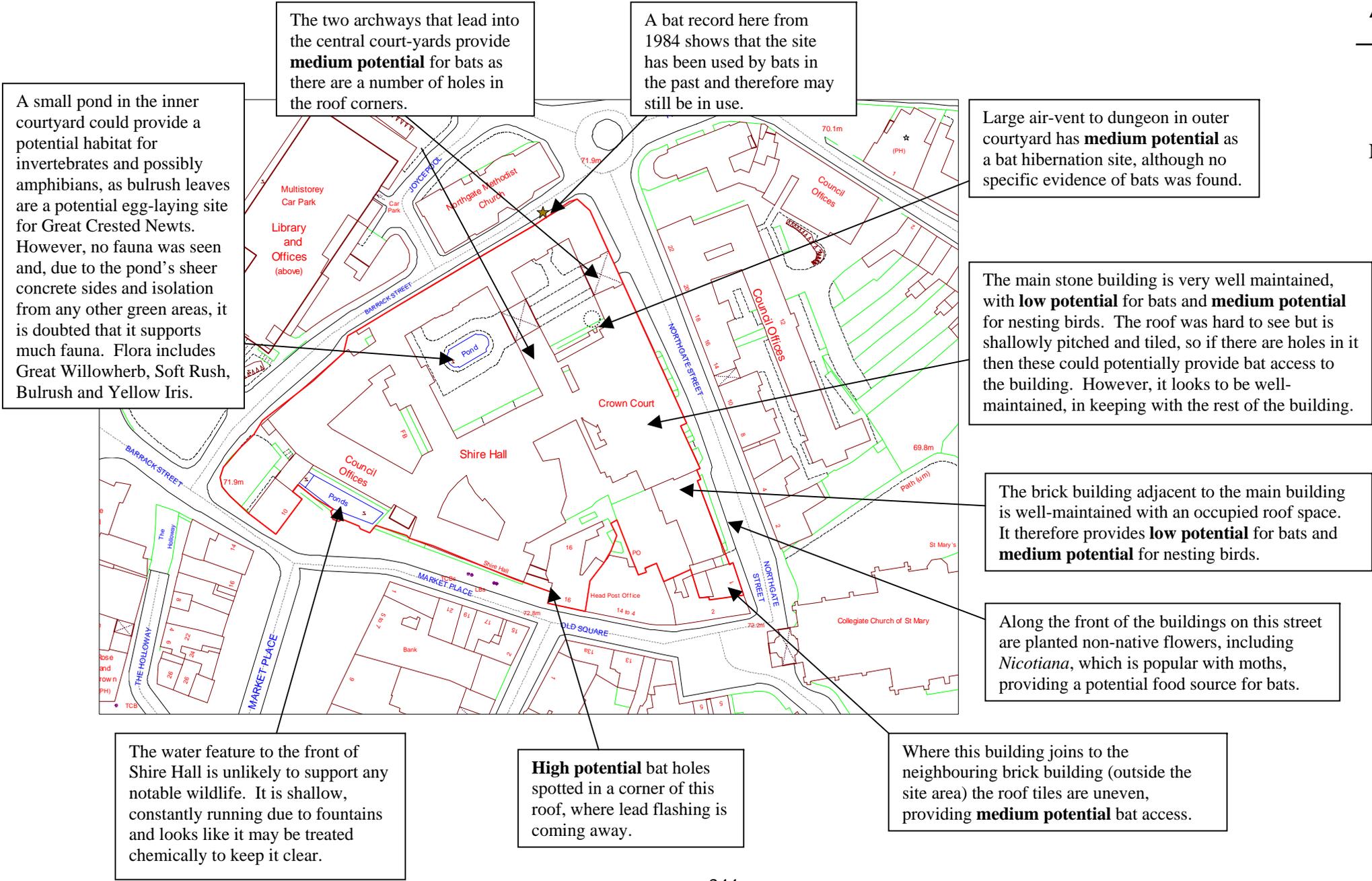
Bulrush (*Typha latifolia*) - occasional

Soft Rush (*Juncus effusus*) - occasional

Great Willowherb (*Epilobium hirsutum*) – occasional

Yellow Iris (*Iris pseudacorus*) – occasional

Map on reverse. Access point, boundaries, adjacent land use main habitats scale, north, slope etc.



**Photos:**



Northgate Street – Main back entrance.



Northgate Street side.



Market Street side.



Northgate Street – Brick Building



Potential bat hibernacula in the dungeon.



Bottom of the dungeon



# SITE REPORT

Office use

WARWICKSHIRE BIOLOGICAL RECORDS CENTRE: County Museum, Warwick

Name of Site	Barrack Street, Warwick	Date of Visit	19/09/06	Time on Site	90 mins
Grid Ref.	SP 2802 6510	Weather		Surveyor	
Parish or location		Bright and chilly		Catherine Haynes Anna Swift	
Access arrangements					
Use of site	Car park and surrounds	Owner/tenant of site	WCC		
Public access	Yes	Strict confidence			
Adjacent land use	Built up area	Any threats or Application			

## General description/interest:

This site includes a multi-storey car park with offices above small areas of amenity grassland with scattered trees and planted flower beds.

### *Flora*

There are areas of short amenity grassland, which are mown all year, and semi-mature trees including sycamore, ash and London plane.

### *Fauna*

There are no aquatic habitats and no cover for reptiles.

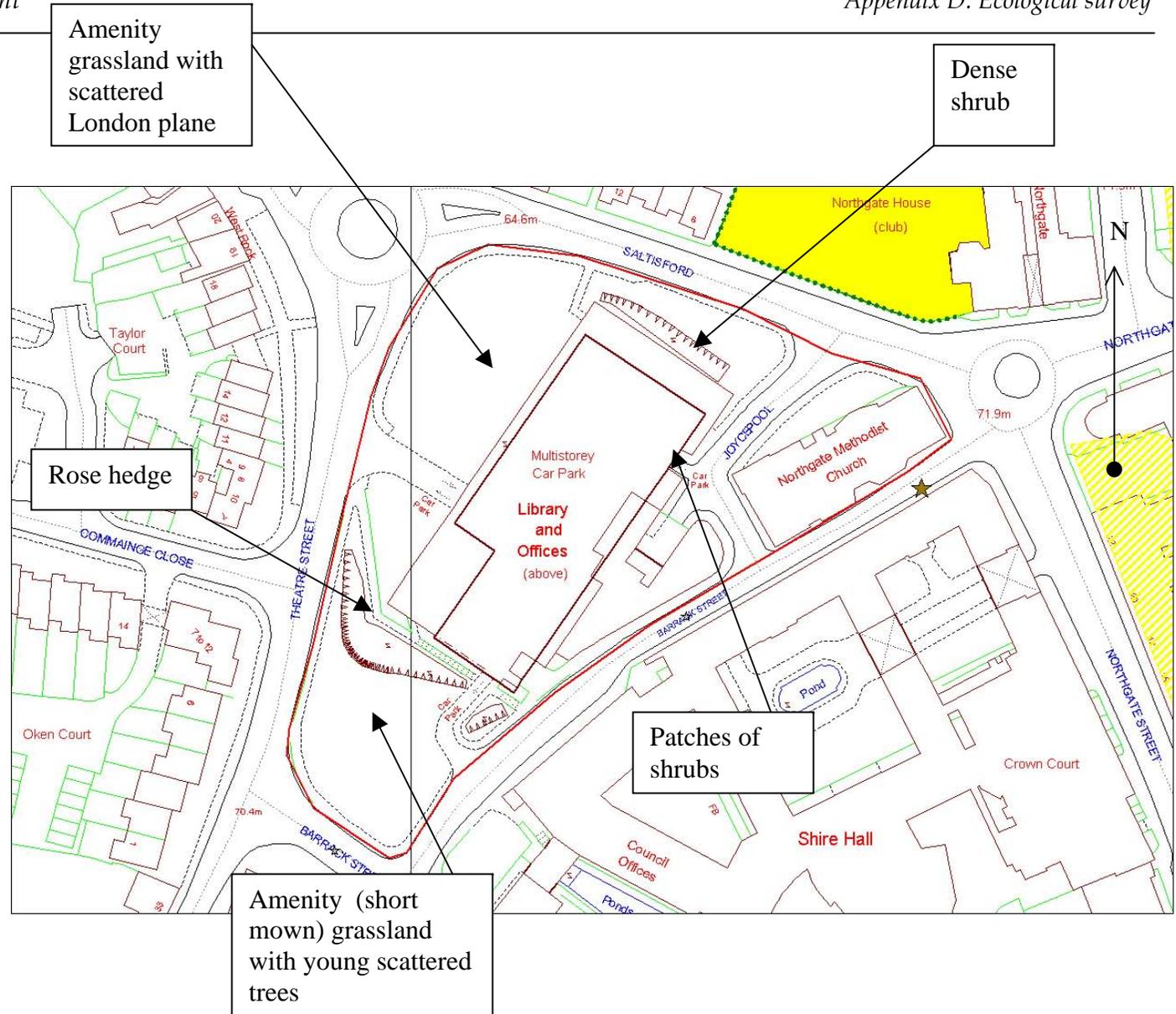
The concrete car park with offices has a flat roof and, therefore, is unlikely to support bats. However, there are small areas of shrubs, which have potential for nesting birds.

## Plants (DAFOR) + animal records

Map on reverse. Access point, boundaries, adjacent land use main habitats scale, north, slope etc.



View from corner of Joyce Pool and Saltisford





## SITE REPORT

Office use

WARWICKSHIRE BIOLOGICAL RECORDS CENTRE: County Museum, Warwick

Name of Site	WCC Education Buildings, Court Offices & The Butts	Date of Visit	19/09/06	Time on Site	40mins
Grid Ref.	SP281650	Weather		Surveyor	
Parish or location	Warwick	Sunny		Becky May, Kit Allen	
Access arrangements					
Use of site	Council and Court Offices	Owner/tenant of site	WCC		
Public access		Strict confidence			
Adjacent land use	Urban, garden	Any threats or Application			

General description/interest:

### Education Buildings

The Education Buildings are of varying age and design, all with tiled roofs in a varying state of repair. There are a number of smaller “outbuildings” at the rear with small garden borders planted with a variety of garden/ornamental species. A small, grassed garden area is present at the rear at the southern end of the complex, again with planted borders and a small greenhouse and a tiled, pitched roof outbuilding, open on one side which is currently used as a garden store. In addition to this there is a further small, grassed area with planted borders and a mature beech tree by the roadside, to the north of the offices.

### *Flora*

The landscaped gardens have amenity value although there are no notable species present.

### *Fauna*

The ecological potential of the all buildings in this complex represents opportunities for bats and nesting birds. No internal inspection was carried out but numerous possible access points for bats were observed although no strong external evidence of use was visible. All access points comprised small holes, cracks present at varying heights and positions and uneven roof tiles.

### Court Offices

These offices also have pitched tiled roofs, with occasional tiles in need of repair. This represents some opportunities for access points for bats as well as birds. There is also a small garden area to the north west of these offices with some mature small-leaved limes present.

### *Flora*

The small-leaved limes present have amenity value. There are no notable species present.

### *Fauna*

Some uneven tiles offer opportunities for bats and nesting birds.

### The Butts

The Butts offices are of varying age and have a tiled pitched roof, areas of which have uneven tiles. There is a small garden area to the rear together with car parking and a bike shelter.

### *Flora*

A large beech tree is present to the rear of the Butts with a fair range of flowering herbs planted in the area beneath. A number of notable sized hoof fungus are also growing on the large beech.

### *Fauna*

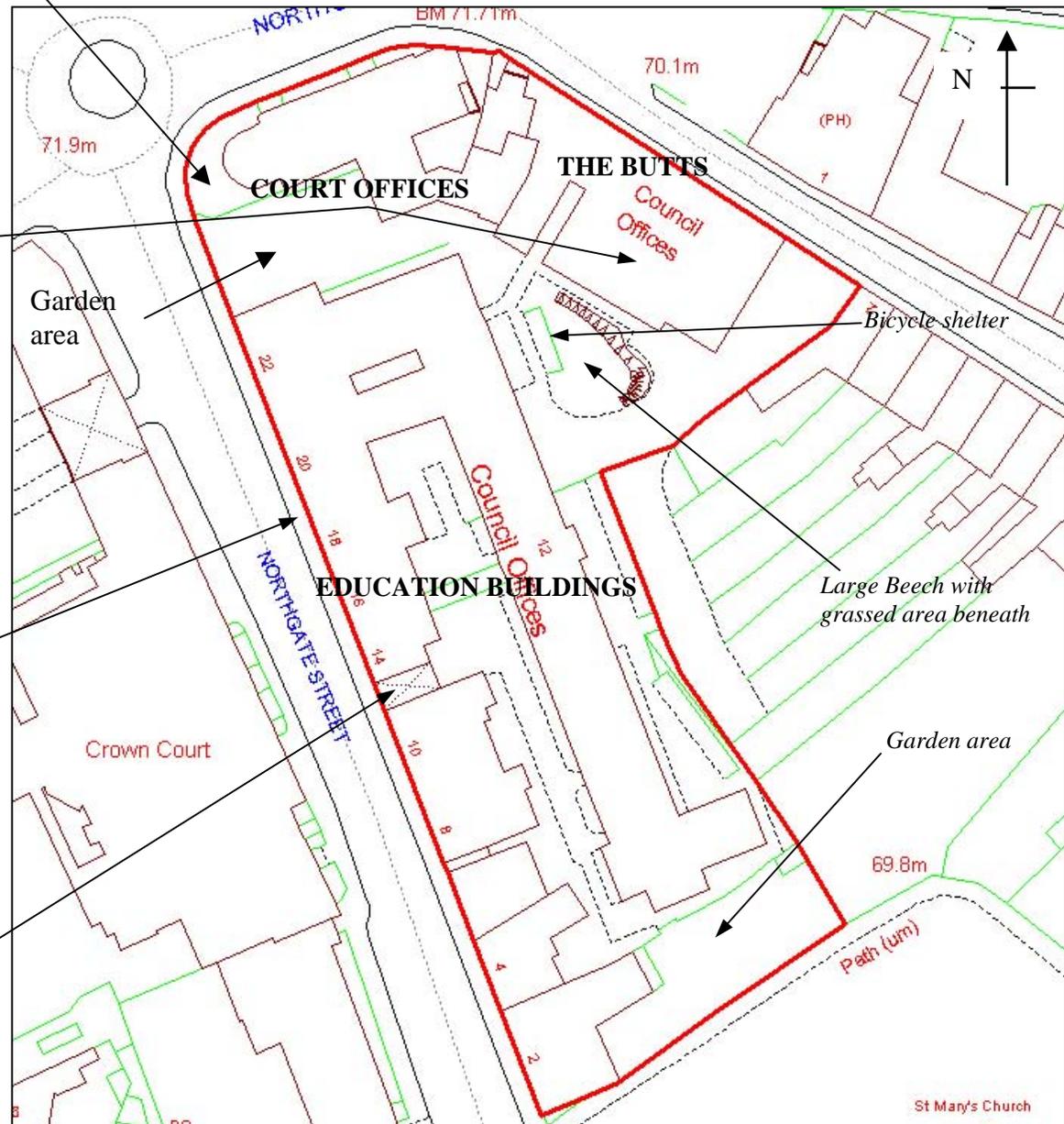
The beech doesn't present any opportunity for bats although it does provide sites for bird nesting. The bike shelter has recent evidence of use by nesting birds, most probably blackbird. There are no obvious flight lines for bats were seen and area lighting may present an issue for some species, although the uneven tiles suggests potential access for bats into the roof space.

Plants (DAFOR) + animal records

Map on reverse. Access point, boundaries, adjacent land use main habitats scale, north, slope etc.



Area with small-leaved lime





## SITE REPORT

Office use

WARWICKSHIRE BIOLOGICAL RECORDS CENTRE: County Museum, Warwick

Name of Site	WCC Staff Club – Northgate House	Date of Visit	19/09/06	Time on Site	30 mins
Grid Ref.	SP 280 651	Weather Sunny		Surveyor	
Parish or location	Northgate Street, Warwick			Anna Swift Kit Allen	
Access arrangements	Via warden				
Use of site	Staff club	Owner/tenant of site	WCC		
Public access	No	Strict confidence			
Adjacent land use	Residential, roads	Any threats or Application			
<p>General description/interest: The WCC Staff Club consists of a main building; brick built with a pitched tiled roof, together with smaller annex buildings and outbuildings, mostly with flat roofs. There is a large garden area to the rear of the buildings with short mown amenity grass, planted borders, occasional trees and hedgerows.</p> <p><i>Flora</i> The garden area is not considered to have a high botanical value, although there are a number of trees and hedgerows along some of the boundaries that provide amenity value as well as possible flight lines for bats/birds.</p> <p><i>Fauna</i> The main building has potential access for bats and nesting birds by way of cracked or gappy tiles, although no obvious external use was evident. No access was gained to the inside of these buildings. Although there were also gaps around some of the overhangs of the flat roofed buildings, these were mostly covered in cobwebs and not considered suitable for use by bats. Although there is no obvious flight line into the buildings for bats or birds, the proximity of Priory Park would suggest that the site provides suitable habitat.</p> <p>There is a bank along the western boundary of the garden as well as bramble patches etc that may provide suitable habitat for reptiles, such as slow worms.</p> <p>Hedgerows and shrubs provide opportunities for nesting birds.</p>					
Plants (DAFOR) + animal records					
Map on reverse. Access point, boundaries, adjacent land use main habitats scale, north, slope etc.					

